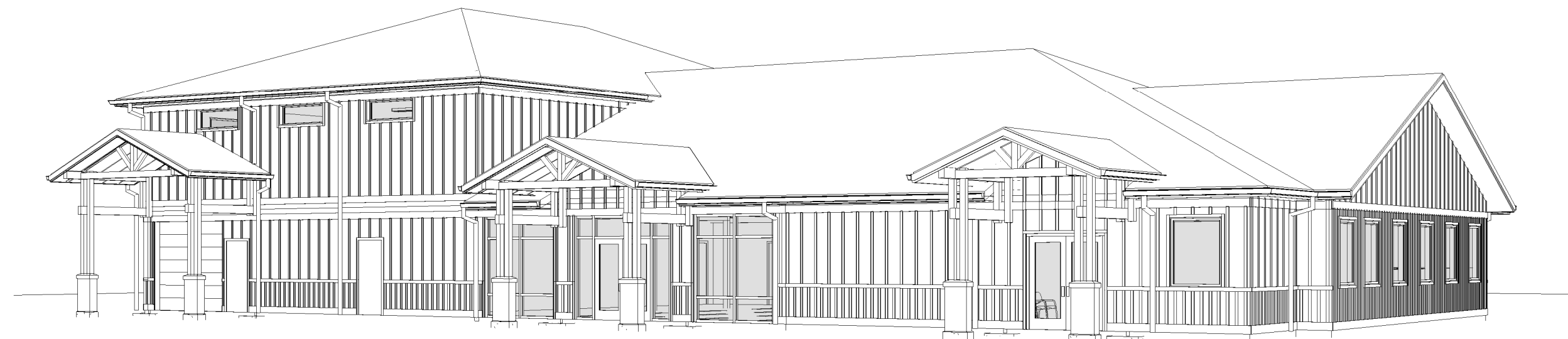


# PHASED PERMIT

CONSTRUCTION APPROVED **ONLY** FOR WORK ASSOCIATED AND IDENTIFIED AS **PHASE I.**

**ALL PHASE 2 WORK IS NOT APPROVED UNDER THE SCOPE OF THIS PERMIT**



'FULL BUILDOUT PHASE I AND PHASE 2

## NEW BUILDING FOR: FOOD BANK

8021 20TH ST SE, LAKE STEVENS, WA 98258

### ABBREVIATIONS

∠	ANGLE	CONN	CONNECTION	FTG	FOOTING	N	NORTH	SHT	SHEET
⊕	CENTERLINE	CONST	CONSTRUCTION	FURR	FURRING	NIC	NOT IN CONTRACT	SHWR	SHOWER
#	DIAMETER OR ROUND	CONTR	CONTRACTOR	FUT	FUTURE	NOM	NOMINAL	SIM	SIMILAR
□	SQUARE	CONT	CONTINUOUS	GA	GAUGE	NTS	NOT TO SCALE	SPEC	SPECIFICATION
(E)	EXISTING	CT	CERAMIC TILE	GALV	GALVANIZED	OA	OVERALL	SQ	SQUARE
ℙ	PROPERTY LINE	DBL	DOUBLE	GB	GRAB BAR	OC	ON CENTER	STD	STANDARD
AB	ANCHOR BOLT	DTL	DETAIL	GL	GLASS (GLAZING)	OD	OUTSIDE DIA / OVERFLOW DRAIN	STL	STEEL
ACC	ACCESSIBLE	DF	DRINKING FOUNTAIN	GND	GROUND	OFCI	OWNER FURNISH	STOR	STORAGE
AD	AREA DRAIN	DIA	DIAMETER	GWB	GYPSPUM WALLBOARD	OFOI	OWNER FURNISH	STRCT	STRUCTURAL
ADJ	ADJUSTABLE	DIM	DIMENSION	HB	HOSE BIBB	OPNG	OWNER FURNISH	SUSP	SUSPENDED
AGGR	AGGREGATE	DISP	DISPENSER	HC	HANDICAPPED	OPP	OWNER INSTALL	SYM	SYMMETRICAL
AL	ALUMINUM	DN	DOWN	HC	HOLLOW CORE	OPNG	OPENING	T	TREAD
ALT	ALTERNATE	DR	DOOR	HC	HOLLOW CORE	OPP	OPPOSITE	TB	TOWEL BAR
APPROX	APPROXIMATE	DS	DOWNSPOUT	HDW	HARDWARE	PNL	PANEL	TC	TOP OF CURB
ARCH	ARCHITECTURAL	DWG	DRAWING	HDWD	HARDWOOD	FC	PRECAST	TEL	TELEPHONE
AT	ACOUSTICAL TILE	DWR	DRAWER	HGT	HEIGHT	FCP	PRECAST CONCRETE PANEL	T&G	TONGUE & GROOVE
BD	BOARD	E	EAST	HM	HOLLOW METAL	FIP	POURED IN PLACE CONCRETE	THK	THICK
BLDG	BUILDING	EQ	EQUAL	HORIZ	HORIZONTAL	FL	PLATE / PROPERTY LINE	TV	TELEVISION
BLKG	BLOCKING	EQPT	EQUIPMENT	ID	INSIDE DIAMETER	PLAM	PLASTIC LAMINATE	TYP	TYPICAL
BM	BEAM	EXIST	EXISTING	INSUL	INSULATION	PLAS	PLASTER	UNO	UNLESS NOTED OTHERWISE
BOT	BOTTOM	ELEV	ELEVATION	INT	INTERIOR	PLYWD	PLYWOOD	UNFIN	UNFINISHED
BL	BUILDING LINE	EQ	EQUAL	JAN	JANITOR	FR	FAIR	UR	URINAL
C	CONDUIT	EQPT	EQUIPMENT	JT	JOINT	R	RISER	YCT	VINYL COMPOSITION TILE
CAB	CABINET	EXIST	EXISTING	RD	ROOF DRAIN	REF	REFERENCE	VERT	VERTICAL
CB	CATCH BASIN	EXP	EXPANSION	REFR	REFRIGERATOR	REFR	REFRIGERATOR	VEST	VESTIBULE
CI	CURB INLET	EXPO	EXPOSED	REINF	REINFORCED	REINF	REINFORCED	W	WEST
CJ	CONST. JOINT	EXT	EXTERIOR	REQD	REQUIRED	REQD	REQUIRED	W/	WITH
CL	CENTERLINE	FACP	FIRE ANNUNCIATOR CONTROL PANEL	RESIL	RESILIENT	RESIL	RESILIENT	WC	WATER CLOSET
CLG	CEILING	MAS	MASONRY	RM	ROOM	RM	ROOM	WD	WOOD
CLR	CLEAR	MATL	MATERIAL	RO	ROUGH OPENING	RO	ROUGH OPENING	WH	WATER HEATER
CMU	CONCRETE MASONRY UNIT	MB	MACHINE BOLT	RWL	RAIN WATER LEADER	RWL	RAIN WATER LEADER	W/O	WITHOUT
COL	COLUMN	MAX	MAXIMUM	S	SOUTH	S	SOUTH	WP	WATERPROOF
CONC	CONCRETE	MECH	MECHANICAL	SC	SOLID CORE	SC	SOLID CORE	WR	WATER RESISTANT
		MFGR	MANUFACTURER	SCHED	SCHEDULE	SCHED	SCHEDULE	WT	WEIGHT
		MH	MANHOLE	SD	SOAP DISPENSER	SD	SOAP DISPENSER	WWF	WELDED WIRE FABRIC
		MIN	MINIMUM	SECT	SECTION	SECT	SECTION		
		FND	FOUNDATION						
		FOC	FACE OF CONST						
		FOF	FACE OF FINISH						
		FOS	FACE OF STUDS						
		FT	FOOT OR FEET						

### GENERAL NOTES

- WORK IS TO CONFORM TO ALL APPLICABLE STATE AND LOCAL CODES AND ORDINANCES. DISCREPANCIES BETWEEN DRAWINGS AND CODES ARE TO BE BROUGHT TO THE ATTENTION OF THE ARCHITECT.
- DO NOT SCALE DRAWINGS. DIMENSIONAL DATA SHALL BE OBTAINED FROM WRITTEN INFORMATION ONLY. VERIFY ALL DIMENSIONS BEFORE PROCEEDING.
- VERIFY EXISTING SITE CONDITIONS BEFORE PROCEEDING WITH WORK. NOTIFY ARCHITECT OF ANY DISCREPANCIES BETWEEN DRAWINGS AND EXISTING CONDITIONS.
- LOCATE AND PRESERVE EXISTING SURVEY MARKERS.
- LOCATE AND PRESERVE ANY EXISTING UTILITIES PRESENT AND SCHEDULE TO REMAIN UNCHANGED.
- EXTERIOR DIMENSIONS ARE TO FACE OF CONCRETE OR FACE OF PLYWOOD UNLESS OTHERWISE NOTED.
- INTERIOR DIMENSIONS ARE TO FACE OF FRAMING UNLESS NOTED OTHERWISE.
- ANY DIMENSIONAL DEVIATIONS AFFECTING THE INTENT OR INCORPORATION OF OTHER ELEMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT.
- REFER TO FOUNDATION AND FRAMING PLANS FOR REFERENCE TO STRUCTURAL DETAILING.
- SUBCONTRACTORS AND FABRICATORS TO SUBMIT SHOP DRAWINGS AND PRODUCT DATA FOR MATERIALS AND ASSEMBLIES AS INDICATED IN SPECIFICATIONS. DRAWINGS TO SHOW SIZES MATERIALS CONNECTION DETAILS TO ADJACENT MATERIALS. INDICATE ALL REQUIRED BACKING AND BLOCKING.
- REFER TO STRUCTURAL NOTES FOR DESIGN LOADS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL REQUIRED SAFETY PRECAUTIONS AND THE METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES REQUIRED TO PERFORM HIS WORK.
- CONTRACTOR-INITIATED CHANGES SHALL BE SUBMITTED IN WRITING TO THE ARCHITECT FOR APPROVAL PRIOR TO FABRICATION OR CONSTRUCTION. CHANGES SHOWN ON SHOP DRAWINGS ONLY WILL NOT SATISFY THIS REQUIREMENT.
- DRAWINGS INDICATE GENERAL AND TYPICAL DETAILS OF CONSTRUCTION. WHERE CONDITIONS ARE NOT SPECIFICALLY INDICATED BUT ARE OF SIMILAR CHARACTER TO DETAILS SHOWN, SIMILAR DETAILS OF CONSTRUCTION SHALL BE USED, SUBJECT TO REVIEW AND APPROVAL BY THE ARCHITECT.

### PROJECT DATA

PROJECT LOCATION: 8021 20TH ST SE  
LAKE STEVENS, WA 98258

PROJECT DESCRIPTION: COMMUNITY FOODBANK WITH HEALTH SERVICES, STORAGE SPACE AND RETAIL PORTION.

### GOVERNING AGENCIES

CITY OF LAKE STEVENS  
PLANNING & COMMUNITY DEVELOPMENT DEPARTMENT (425) 377-3235

APPLICABLE CODES:  
2015 INTERNATIONAL BUILDING CODE AND STATEWIDE AMENDMENTS  
2009 ICC-ANSI A117.1 ACCESSIBILITY CODE  
2015 WASHINGTON STATE NONRESIDENTIAL ENERGY CODE  
2015 INTERNATIONAL FIRE CODE  
2015 INTERNATIONAL MECHANICAL CODE  
2015 UNIFORM PLUMBING CODE  
2015 NATIONAL ELECTRIC CODE

### DEFERED SUBMITTALS

MECHANICAL  
ELECTRICAL

### SHEET INDEX

#### ARCHITECTURAL

A0.1	COVER SHEET
A0.3	CODE FLOOR PLAN
A0.4	WALL TYPES
A1.1	SITE PLAN
A1.2	SITE DETAILS
A2.2	MAIN FLOOR PLAN
A2.3	SECOND FLOOR PLAN
A2.4	ROOF PLAN
A2.5	SCHEDULES
A2.6	SCHEDULES
A3.1	ELEVATIONS
A3.2	SECTIONS
A4.1	ENLARGED PLANS
A5.1	INTERIOR ELEVATIONS
A6.1	MAIN REFLECTED CEILING PLAN
A6.2	SECOND REFLECTED CEILING PLAN
A8.1	DETAILS
A8.2	DETAILS
A8.3	DETAILS

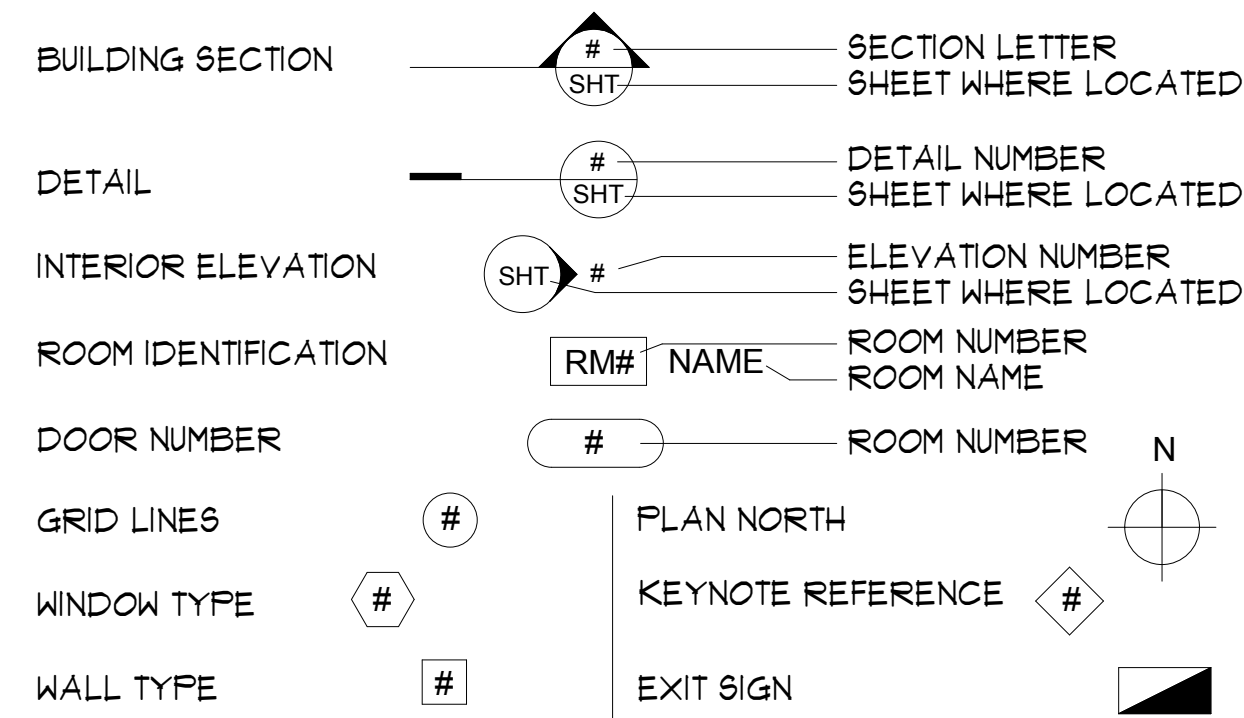
#### STRUCTURAL

S1.0	STRUCTURAL NOTES
S1.1	FOUNDATION PLAN
S1.3	SECOND FLOOR FRAMING
S1.4	ROOF FRAMING PLAN
S2.0	STRUCTURAL DETAILS
S3.0	STRUCTURAL DETAILS

#### ELECTRICAL

E1.1	ELECTRICAL PLAN
E1.2	LIGHTING PLAN

### PLAN SYMBOL LEGEND



### PROJECT TEAM

OWNER: LAKE STEVENS COMMUNITY FOOD BANK ASSN. PO BOX 1031 LAKE STEVENS, WA 98258 AMNE ANDERSON 360-224-5301 director@lakestevensfoodbank.org

STRUCTURAL: STRUCTURAL DESIGN ASSOCIATES 3006 RUCKER AVE. EVERETT, WA 98201-3932 425-339-0293 CHRIS COVINGTON ADMIN@SDAEVERETT.COM

ARCHITECT: MJ NEAL ASSOCIATES, PO BOX 1945 WENATCHEE, WA 98801 (509) 663-6455 MARK NEAL m.jneal@alala.com

CONTRACTOR: TBD

DEFERRED SUBMITTAL APPROVED FOR MECHANICAL SYSTEM AND WSEC COMPLIANCE FORMS

CITY OF LAKE STEVENS BUILDING DEPARTMENT  
**APPROVED**

SIGNED \_\_\_\_\_ DATE \_\_\_\_\_

9/21/20 REVISION FOR PHASED PERMIT BASED ON ORIGINAL APPROVAL FROM 1/18/19

NEW BUILDING FOR:  
**FOOD BANK**  
8021 20TH ST SE, LAKE STEVENS, WA 98258

Date: 2019-04-17

Scale Factor: 1

Drawn: HE

File: 18465

Sheet

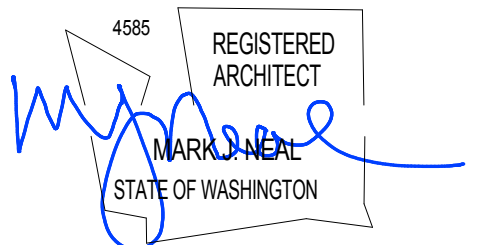
**A0.1**

REVISIONS	BY



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# CODE INFORMATION

## ALLOWABLE AREA

CONSTRUCTION TYPE:	5B
TOTAL FLOOR AREA:	PHASE 1: 8,148 • PHASE 2: 2,708 • 10,856 SF
OCCUPANCY TYPE:	B
OCCUPANCY SEPARATIONS:	N/A
OCCUPANCY AREAS:	B = 27,000 SF
BASE ALLOWABLE AREA:	27,000 SF
BASE ALLOWABLE HEIGHT:	3 STORIES
SPRINKLED:	FULLY SPRINKLED
FRONTAGE INCREASE:	$I_f = (1 - 0.25) 23.22/30 = 0.58$
ALLOWABLE AREA CALCULATION:	$A_a = (27,000 + (9,000 \times 0.58)) \times 2 = 64,440 SF$
OCCUPANT LOAD:	MAIN FLOOR - 5,159 GROSS AREA/100 OLF = 52 OCCUPANTS MAIN PHASE 2 - 2,708 GROSS AREA/100 OLF = 27 OCCUPANTS UPPER FLOOR - 2,989 GROSS AREA/100 OLF = 30 OCCUPANTS

## FIRE AND SMOKE PROTECTION REQUIREMENTS

BUILDING ELEMENT RESISTANCE	RATING (HRS)
PRIMARY STRUCTURAL FRAME:	0
BEARING WALLS EXTERIOR:	0 (BASED ON IBC TABLE 602)
BEARING WALLS INTERIOR:	0
NONBEARING WALLS EXTERIOR:	0 (BASED ON IBC TABLE 602)
NONBEARING WALLS INTERIOR:	0
ROOF CONSTRUCTION:	0

EXIT ACCESS RATINGS	
CORRIDORS:	0
VERTICAL ENCLOSURES:	N/A

EGRESS TRAVEL DISTANCES	
COMMON PATH OF EGRESS TRAVEL:	75' MAX (75' PROVIDED)
EXIT ACCESS TRAVEL DISTANCE:	250' MAX (140' PROVIDED)

## ENERGY CODE NOTES

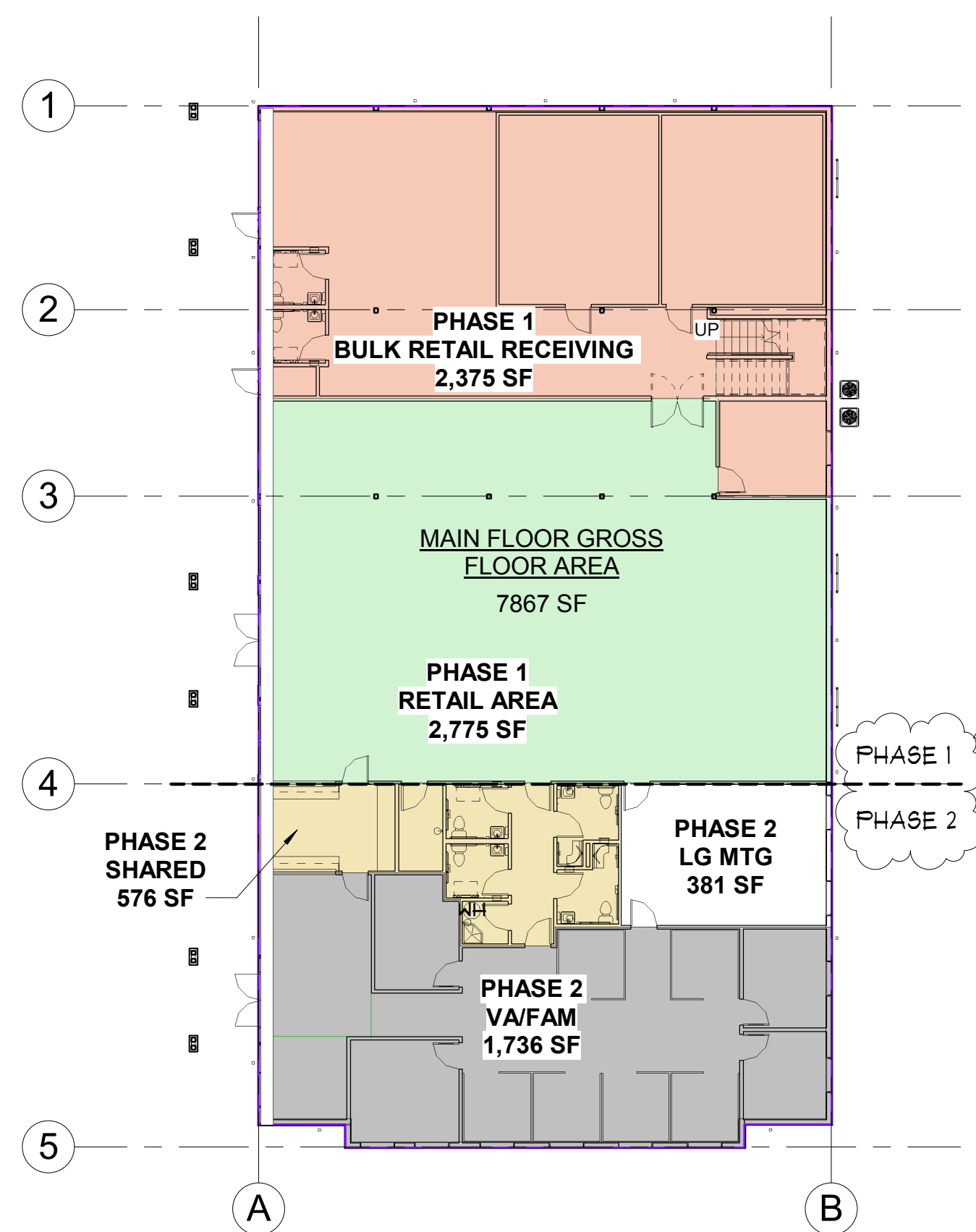
- ENVELOPE, LIGHTING, & HVAC SHALL COMPLY WITH 2015 WASHINGTON STATE NON-RESIDENTIAL ENERGY CODE.
- STOREFRONT GLAZING (METAL FRAMED FENESTRATION) SHALL BE 1" INSULATED UNITS, MAXIMUM U' FACTOR OF 0.38 (FIXED) AND 0.40 (OPERABLE), AND SOLAR HEAT GAIN COEFFICIENT OF 0.40 MAX. SHOW LABEL WITH RATED U-FACTOR, SHGC, VT, AND LEAKAGE RATING.
- OPAQUE DOOR MAXIMUM U' FACTOR SHALL BE 0.60.
- INTERIOR LIGHT ALLOWANCE PER C405.4.2 (1) OR C405.4.2 (2).
- ELECTRIC RESISTANCE ALONE NOT ALLOWED
- R AND U VALUES SHALL BE:  
 WALL INSULATION - R-21 MIN.  
 ROOF INSULATION - R-49 MIN.  
 SLAB INSUL - R-10 MIN.  
 OPAQUE SWINGING DOORS - U-0.37  
 VERTICAL FENESTRATION METAL FRAME, FIXED - U-VALUE 0.38 MIN. FENESTRATION ENTRANCE DOORS - U-VALUE = 0.60. SHOW LABEL WITH FIRE RATED U-FACTOR, SHGC, VT, AND LEAKAGE RATING.
- IDENTIFICATION MARK SHALL BE APPLIED TO ALL INSTALLED INSULATION.
- BUILDING ENVELOPE SHALL BE SEALED AGAINST AIR INFILTRATION WITH CAULKING, GASKETING, & WEATHERSTRIPPING PER 2015 WA STATE C402.5.
- GLAZING AND DOORS SHALL BE WEATHERSTRIPPED PER 2015 WA STATE C402.4
- INSULATION SHALL BE INSTALLED PER MANUFACTURER'S INSTRUCTIONS, TO FULL DENSITIES AND PROPER CLEARANCES.

MECHANICAL SYSTEM TO BE BIDDER DESIGNED AND CODE COMPLIANCE DOCUMENT DEFERRED TO BE SUBMITTED WITH THE MECHANICAL PERMIT APPLICATION.

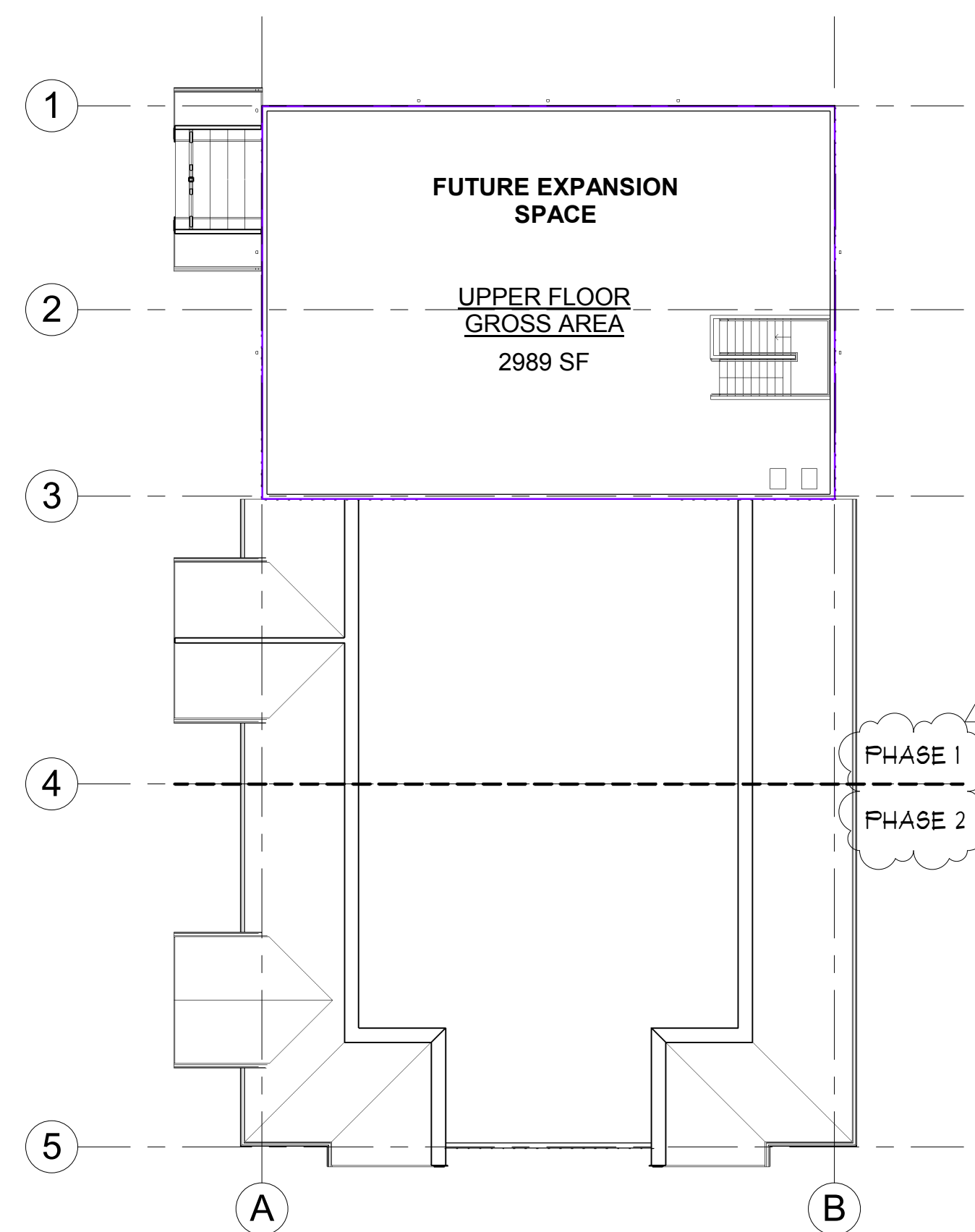
## CODE FLOOR PLAN LEGEND

- 101 ROOM NUMBER
- OLF: 100  
OCC: 15 OLF - OCCUPANT LOAD FACTOR PER IBC TABLE 1004.1.2  
OCC - CALCULATED NUMBER OF OCCUPANTS
- 15 NUMBER IN CIRCLE INDICATES CUMULATIVE NUMBER OF OCCUPANTS AT THIS POINT OF ROUTE
- FE FIRE EXTINGUISHER WALL BRACKET MOUNTED
- FEC FIRE EXTINGUISHER IN CABINET
- LONGEST EXIT ACCESS PATH (EAP)
- LONGEST COMMON PATH OF TRAVEL (CPT)
- ◆◆◆◆◆ 1-HR RATED FIRE WALL

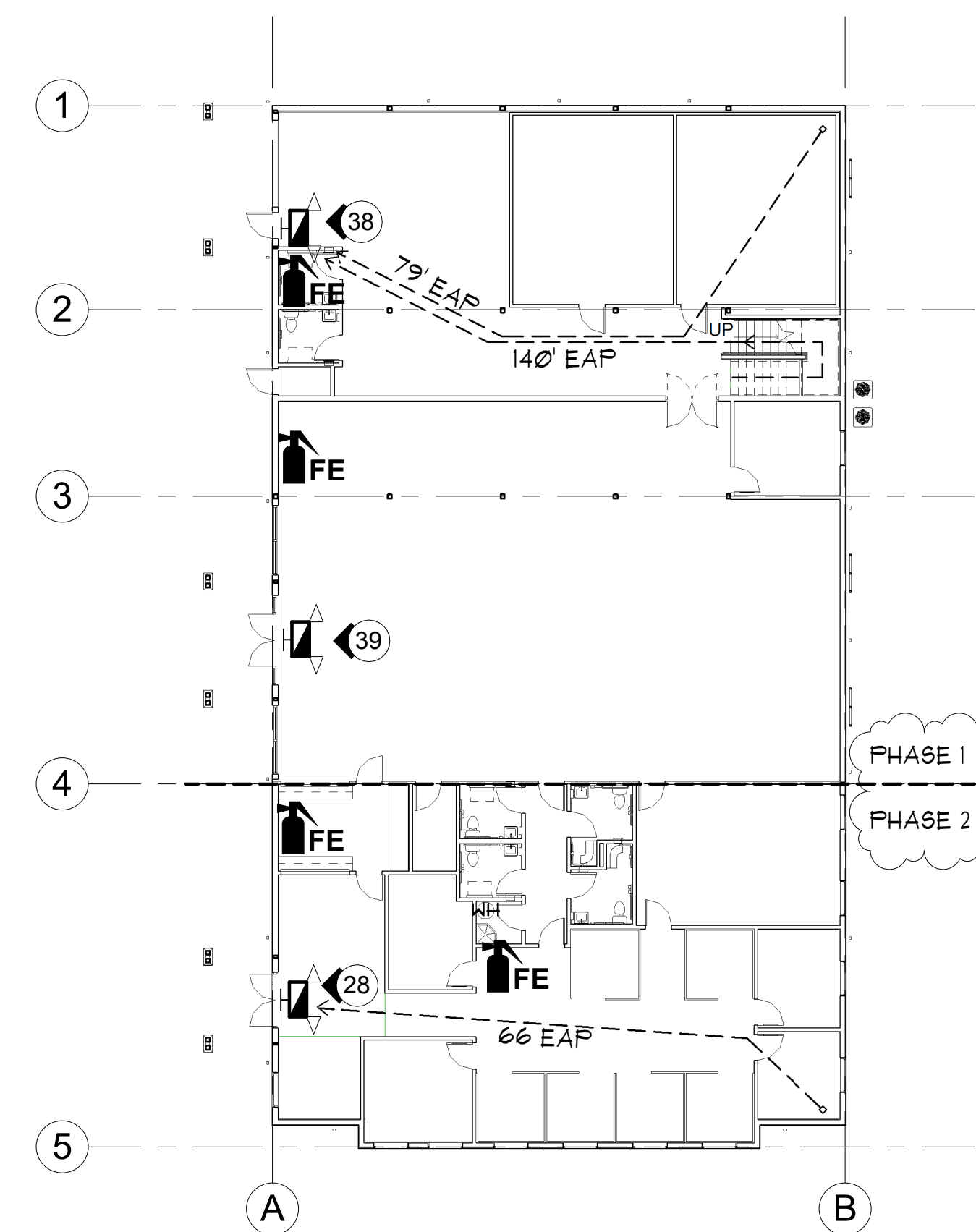
PHASE 2 WORK IS NOT APPROVED



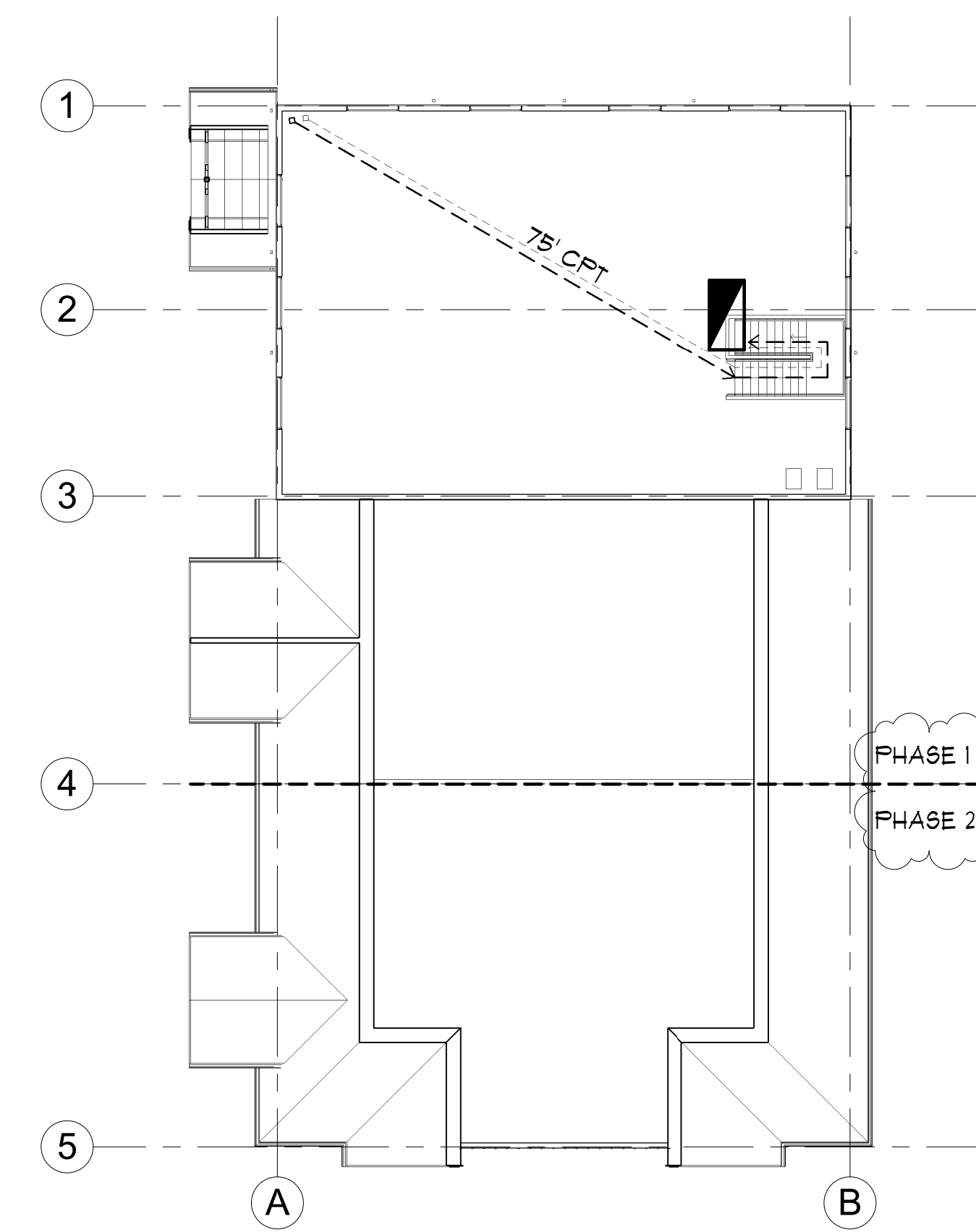
MAIN FLOOR OCCUPANCY PLAN



SECOND FLOOR OCCUPANCY PLAN



MAIN CODE FLOOR PLAN



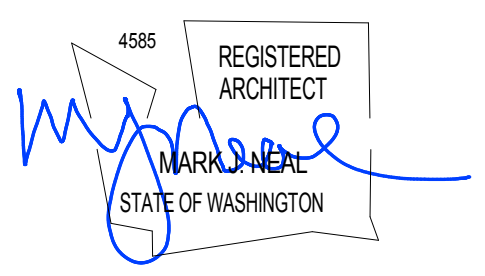
2ND FLR CODE FLOOR PLAN

REVISIONS	BY
2	HE
3	KM



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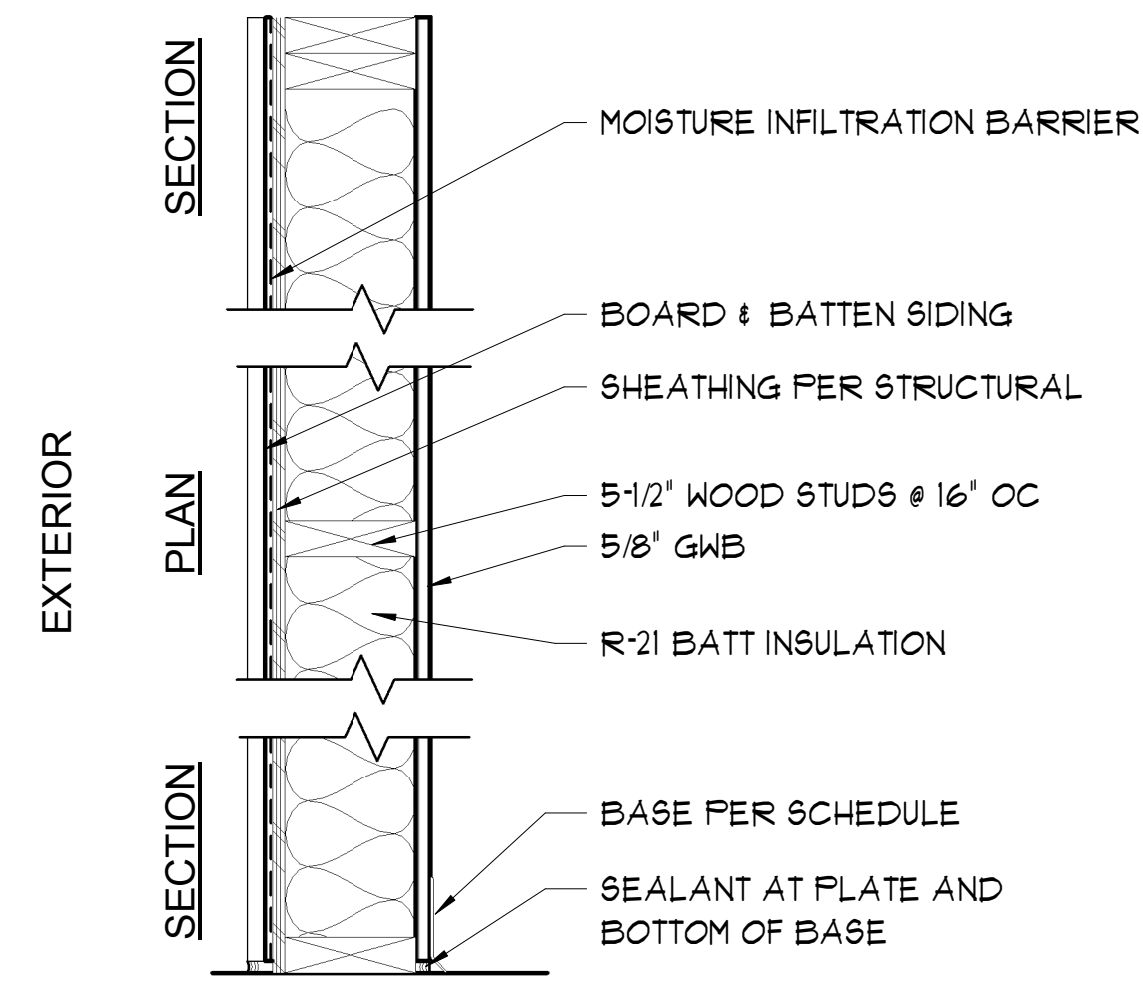


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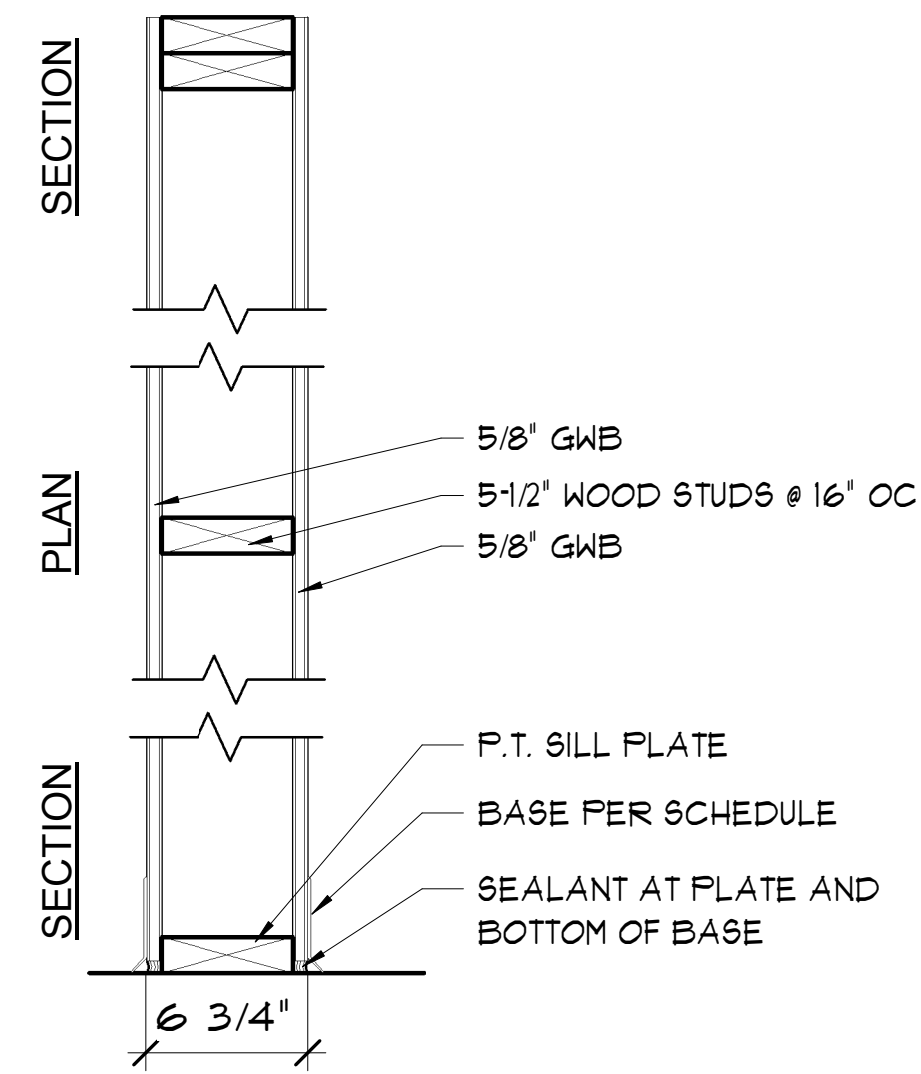
NEW BUILDING FOR:  
**FOOD BANK**  
 8021 20TH ST SE, LAKE STEVENS, WA 98258

Date:	2019-04-17
Scale Factor:	1
Drawn:	HE
File:	18465

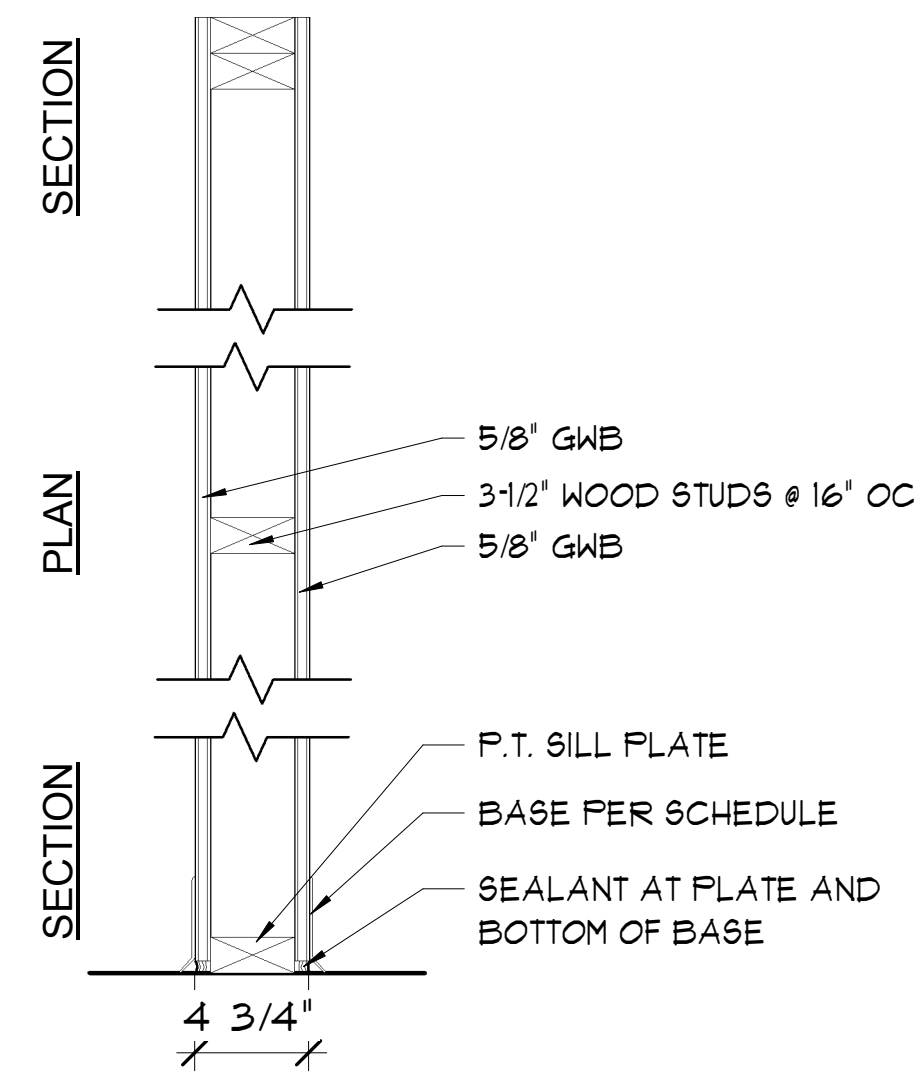
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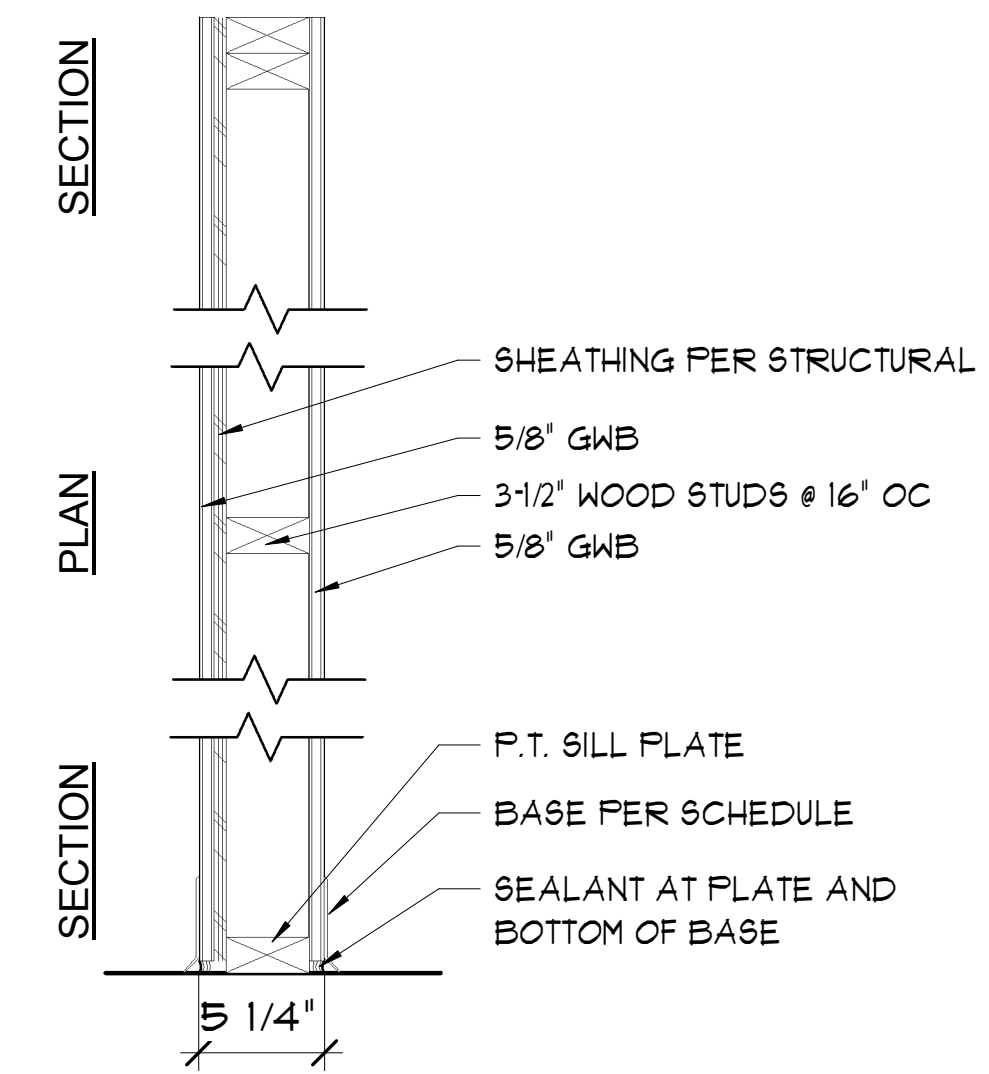
**WALL TYPE - A**  
1 1/2" = 1'-0"



**WALL TYPE - B**  
1 1/2" = 1'-0"



**WALL TYPE - C**  
1 1/2" = 1'-0"



**WALL TYPE - D**  
1 1/2" = 1'-0"

**WALL TYPE NOTES**

- A. SEE FLOOR PLAN FOR WALL TAGS. FILL WALLS WITH INSULATION WHERE WALL TAG INCLUDES A "I" SYMBOL. ALWAYS FILL WITH INSULATION WHERE WALL TYPE EXPLICITLY NOTES.
- B. SEE STRUCTURAL SHEETS FOR SHEAR WALL INFO.

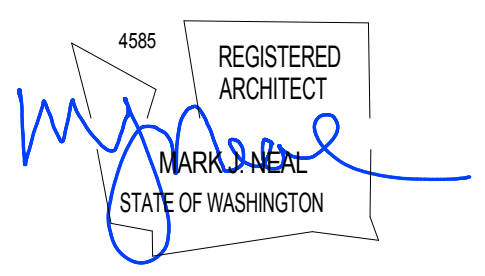
REVISIONS	BY

CITY OF LAKE STEVENS  
BUILDING DEPARTMENT  
**APPROVED**  
SIGNED: *[Signature]* DATE: \_\_\_\_\_  
REVIEWED FOR CODE COMPLIANCE  
WITH BUILDING CODE PROVISIONS ONLY



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**NEW BUILDING FOR:  
FOOD BANK**  
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Date: 2019-04-17  
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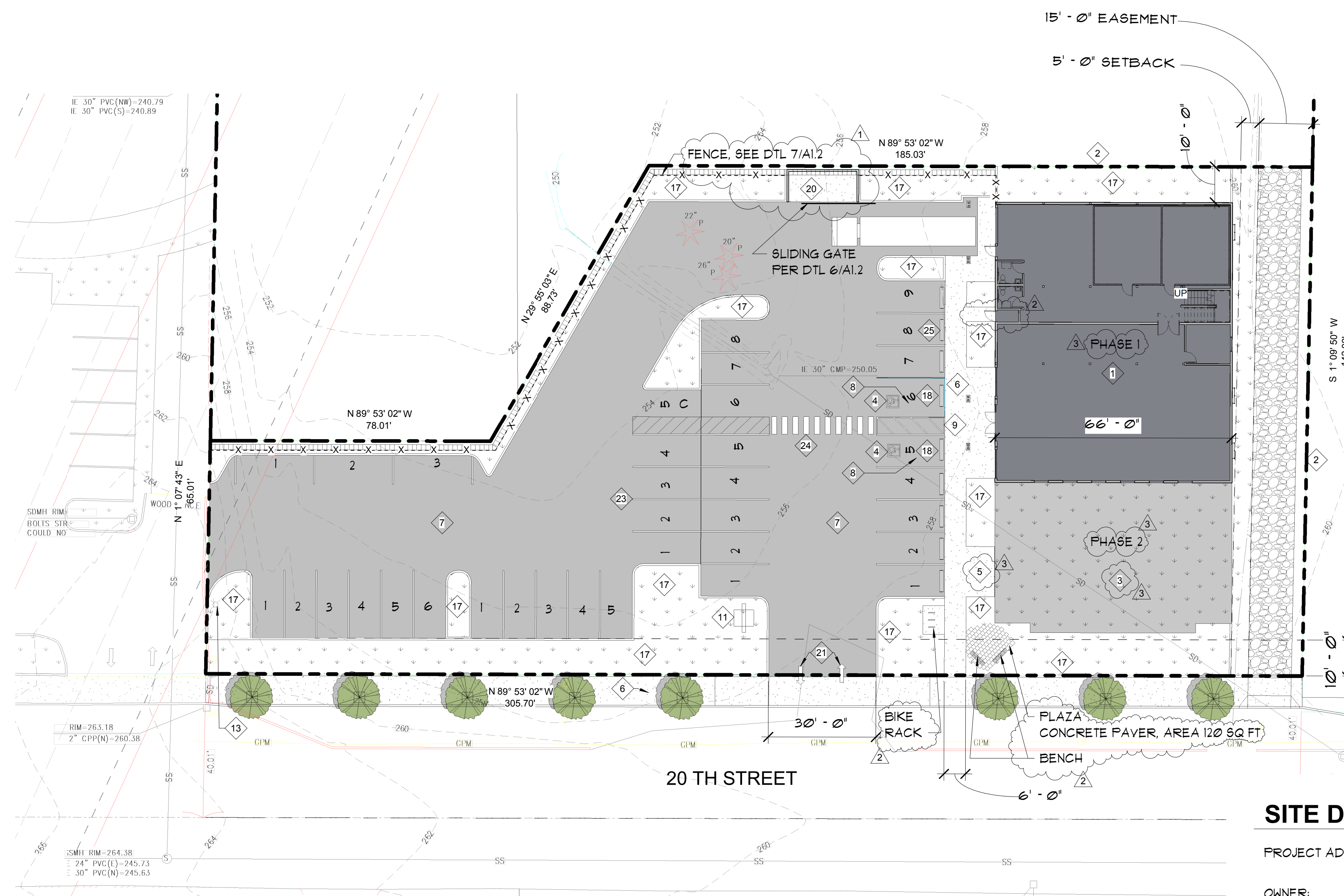
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# PHASE 2 WORK IS NOT APPROVED

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BUILDING DEPARTMENT  
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REVISIONS	BY
1	05/30/19 HE
2	07/02/19 HE
	08/04/20 KM



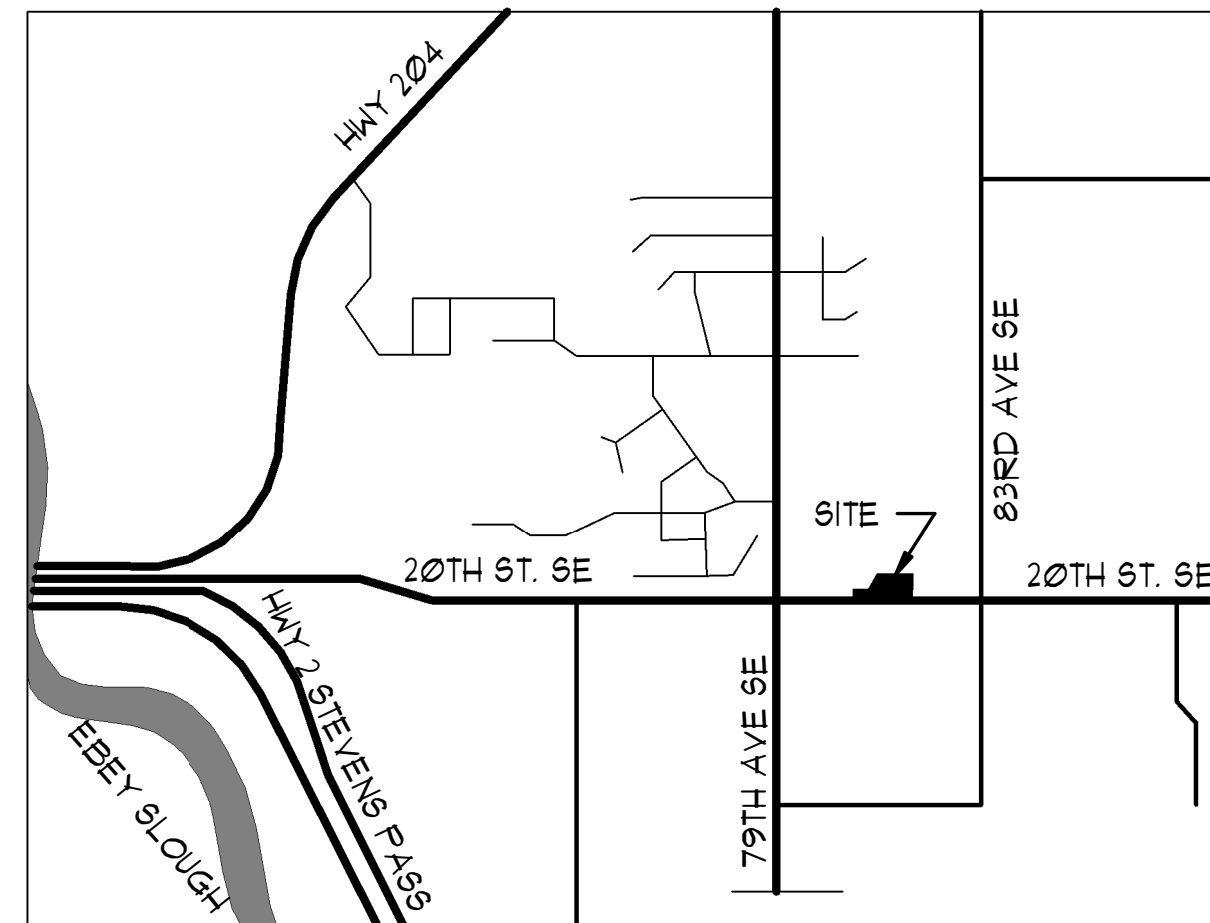
**ARCHITECTURAL SITE PLAN**  
1" = 20'-0"  
N

### GENERAL SITE NOTES:

- ISSUANCE OF A BUILDING PERMIT IN ACCORDANCE WITH THESE PLANS DOES NOT OBLIGATE THE JURISDICTION IN ANY WAY TO INSURE THE CORRECT LOCATION IN THE FIELD OF BUILDINGS, STRUCTURES, PARKING AREAS, LANDSCAPING, AND OTHER FEATURES AS CONTAINED ON THIS PLAN. THE OWNER/PERMIT HOLDER IS RESPONSIBLE FOR THE CORRECT FIELD LOCATION OF THESE FEATURES RELATIVE TO ANY REQUIRED SETBACKS, EASEMENTS, BUFFERS, OR OTHER LIMITS AS SHOWN THESE PLANS AND/OR INCLUDED WITH ANY AND ALL AGREEMENTS CONTRACTS, ETC. ASSOCIATED WITH THIS BUILDING PERMIT.
- SITE IMPROVEMENTS SHALL CONFORM TO APPROVED SITE AND LANDSCAPE PLANS.
- ALL PARKING AND LANDSCAPE AREAS SHALL BE INSTALLED, INSPECTED AND APPROVED PER APPROVED PLANS PRIOR TO OCCUPANCY.
- A LANDSCAPE MAINTENANCE BONDS WILL BE PER L9MC 14.1.6A.18.0.

### ARCHITECTURAL SITE PLAN KEYNOTES

- |   |  |    |  |
|---|--|----|--|
| 1 | PROPOSED BUILDING  | 13 | EXISTING FIRE HYDRANT                      |
| 2 | PROPERTY LINE  | 14 | NEW FIRE HYDRANT                           |
| 3 | PHASE 1: AREA PLANTED IN LAWN                            | 15 | PIV VALVE                                  |
| 3 | PHASE 2: BUILDING EXPANSION                              | 16 | FIRE DEPARTMENT CONNECTION                 |
| 4 | PAINTED INTERNATIONAL SYMBOL OF ACCESS PER DTL 1/AT.2    | 17 | LANDSCAPE AREA - SEE LANDSCAPE SHEETS      |
| 5 | PHASE 1: AREA PLANTED IN LAWN                            | 18 | POST SIGNAGE - ACCESSIBLE STALL SEE 5/A1.2 |
| 5 | PHASE 2: SIDEWALK  | 19 | ELECTRICAL TRANSFORMER                     |
| 6 | NEW SIDEWALK   | 20 | DUMPSTER ENCLOSURE PER DTL 6/A1.2          |
| 7 | NEW ASPHALT  | 21 | INGRESS AND EGRESS ARROWS VERIFY LOCATION  |
| 8 | ACCESSIBLE PARKING STALL PAVEMENT SLOPE NOT TO EXCEED 2% |    |  |



**VICINITY MAP**  
NOT TO SCALE

### UTILITY PROVIDERS

- SEWER**  
LAKE STEVENS SEWER DISTRICT  
1106 VERNON ROAD SUITE A,  
LAKE STEVENS, WA 98258  
(425) 743-4605
- STORM WATER**  
CITY OF LAKE STEVENS  
1812 MAIN STREET  
LAKE STEVENS, WA 98258  
425-622-9400
- WATER**  
SNOHOMISH COUNTY PUD  
2320 CALIFORNIA STREET  
EVERETT, WA 98201  
(425) 783-1000
- POWER**  
SNOHOMISH COUNTY PUD  
2320 CALIFORNIA STREET  
EVERETT, WA 98201  
(425) 783-1000

### PARKING DATA

5364 SF WAREHOUSE	2/1000	11.0
2775 SF RETAIL	2.5/1000	7.0
921 SF OFFICE	2.5/1000	2.0
1736 SF VAMED	2.5/1000	4.0
		24 REQ'D

24 PROVIDED + 12 FOR TRESTLE STATION

### SITE DESIGN CRITERIA

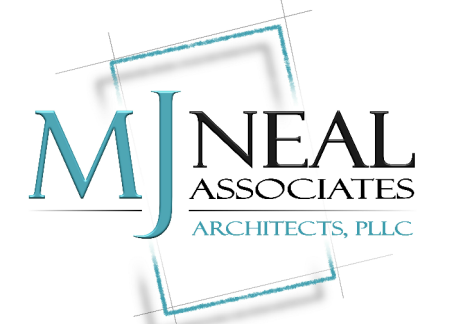
- PROJECT ADDRESS: 8021 20TH ST SE, LAKE STEVENS, WA 98258
- OWNER: LAKE STEVENS COMMUNITY FOOD BANK ASSN. LAKE STEVENS, WA 98258
- ASSESSOR'S PARCEL NO.: 00431400300202
- JURISDICTION: CITY OF LAKE STEVENS
- ZONING: BD
- PROPOSED USE: B FULLY SPRINKLED
- MAXIMUM BUILDING HEIGHT: 40'
- SETBACKS:  
FRONT: 5'  
SIDES: 10'  
REAR: 10'
- SITE AREA: 0.8210 ACRES (35,763 SF)

- IMPERVIOUS SURFACE AREA:  
BUILDINGS: 7,857 S.F.  
COVERED AREAS: N/A  
PARKING/PAVED AREA: 16,491 S.F.

### CODE SITE PLAN LEGEND

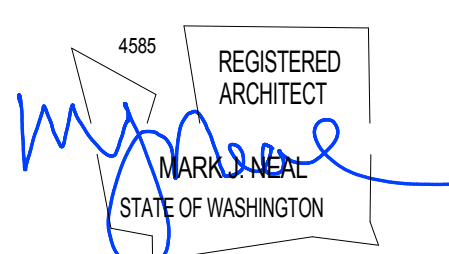
- PROPERTY LINE
- SETBACK OR EASEMENT
- CONTOUR - NEW
- CONTOUR - EXISTING
- PROJECT LIMITS
- CONTRACTOR STAGING AREA
- LANDSCAPED AREA
- LANDSCAPING BUFFER AREA
- CONCRETE
- GRAVEL
- ASPHALT PAVEMENT
- HYDRANT
- FIRE DEPARTMENT CONNECTION (FDC)
- POST INDICATOR VALVE (PIV)
- SINGLE POST MOUNTED LIGHTING FIXTURE
- DOUBLE POST MOUNTED LIGHTING FIXTURE
- WATER METER
- ELECTRICAL TRANSFORMER

### SITE PLAN LEGEND

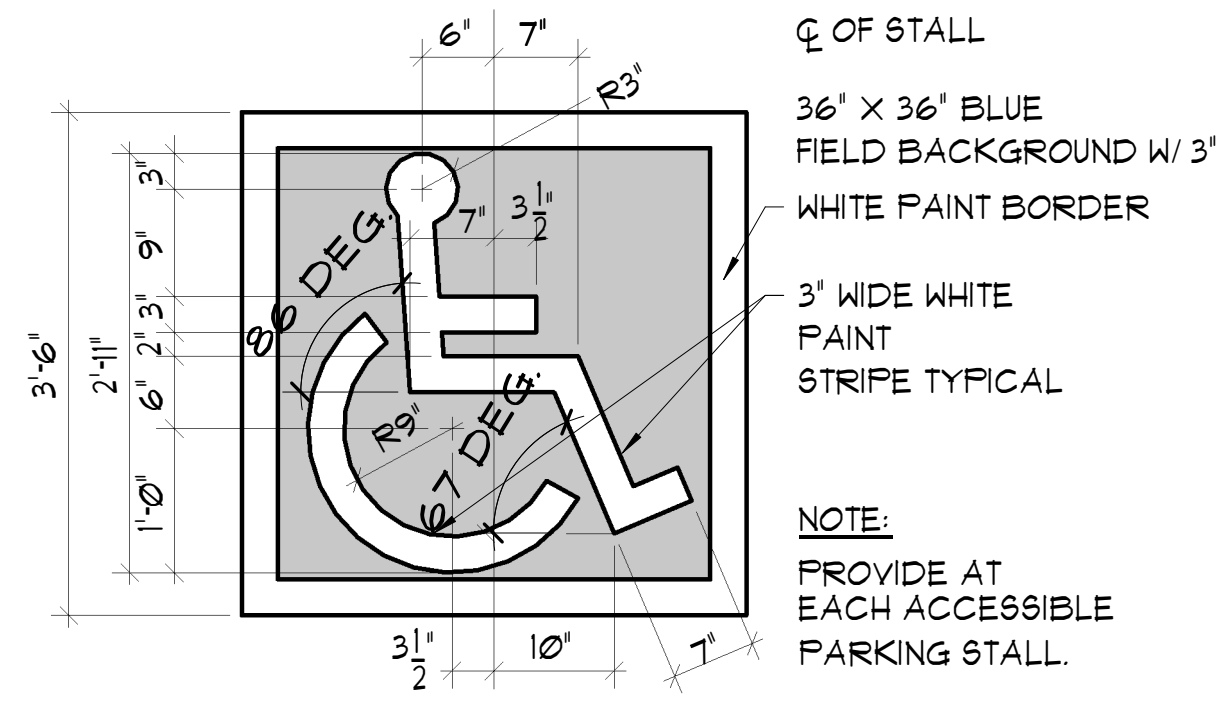


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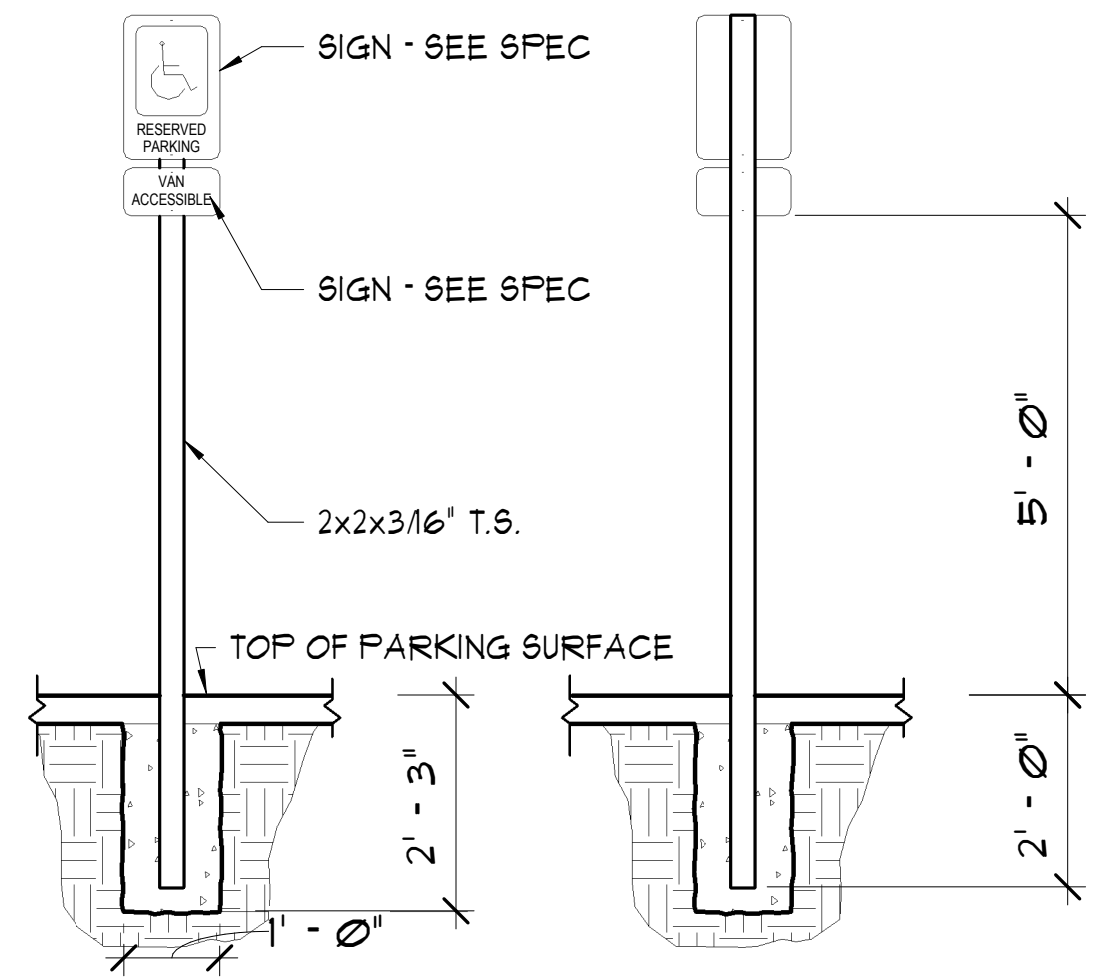
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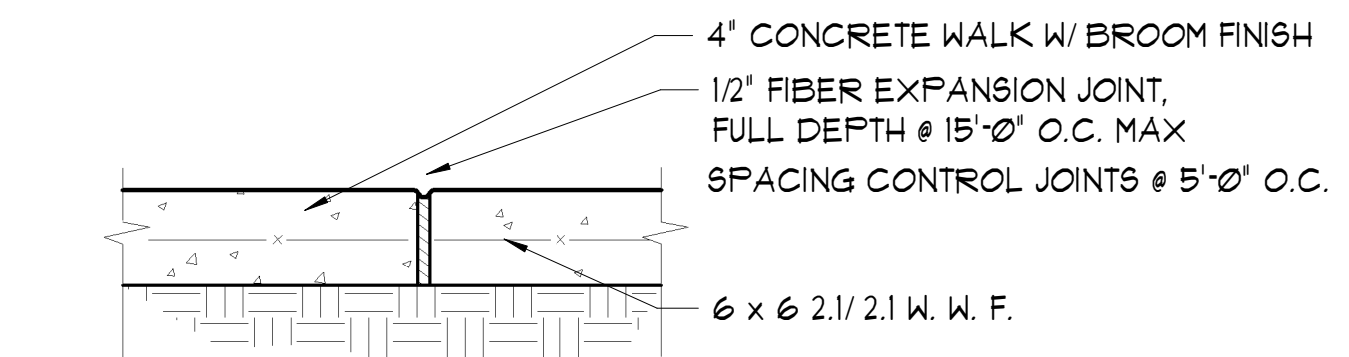




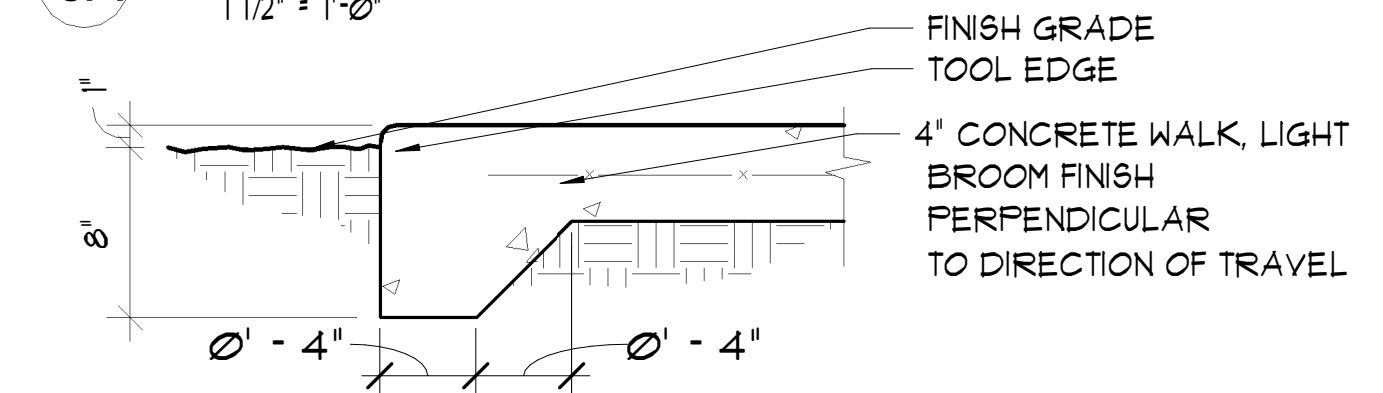
**1 INTERN'L SYMBOL OF ACCESSIBILITY**  
3/4" = 1'-0"



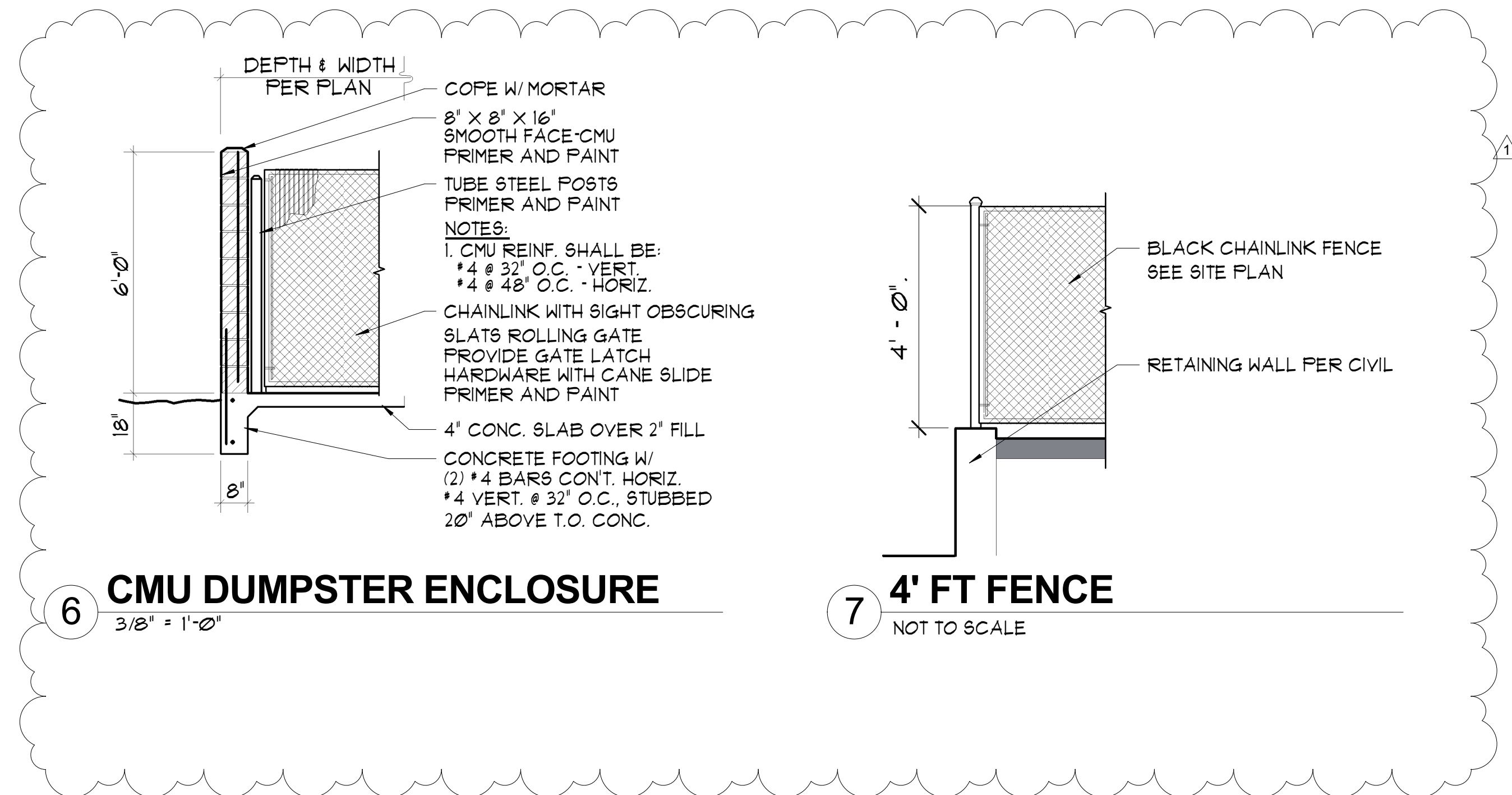
**5 ACCESSIBLE SIGNAGE**  
1/2" = 1'-0"



**3A EXTERIOR CONSTRUCTION JOINT**  
1 1/2" = 1'-0"



**3 WALK EDGE & PLANTER LAWN**  
1 1/2" = 1'-0"



**6 CMU DUMPSTER ENCLOSURE**  
3/8" = 1'-0"

**7 4' FT FENCE**  
NOT TO SCALE

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05/30/19	HE

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STATE OF WASHINGTON

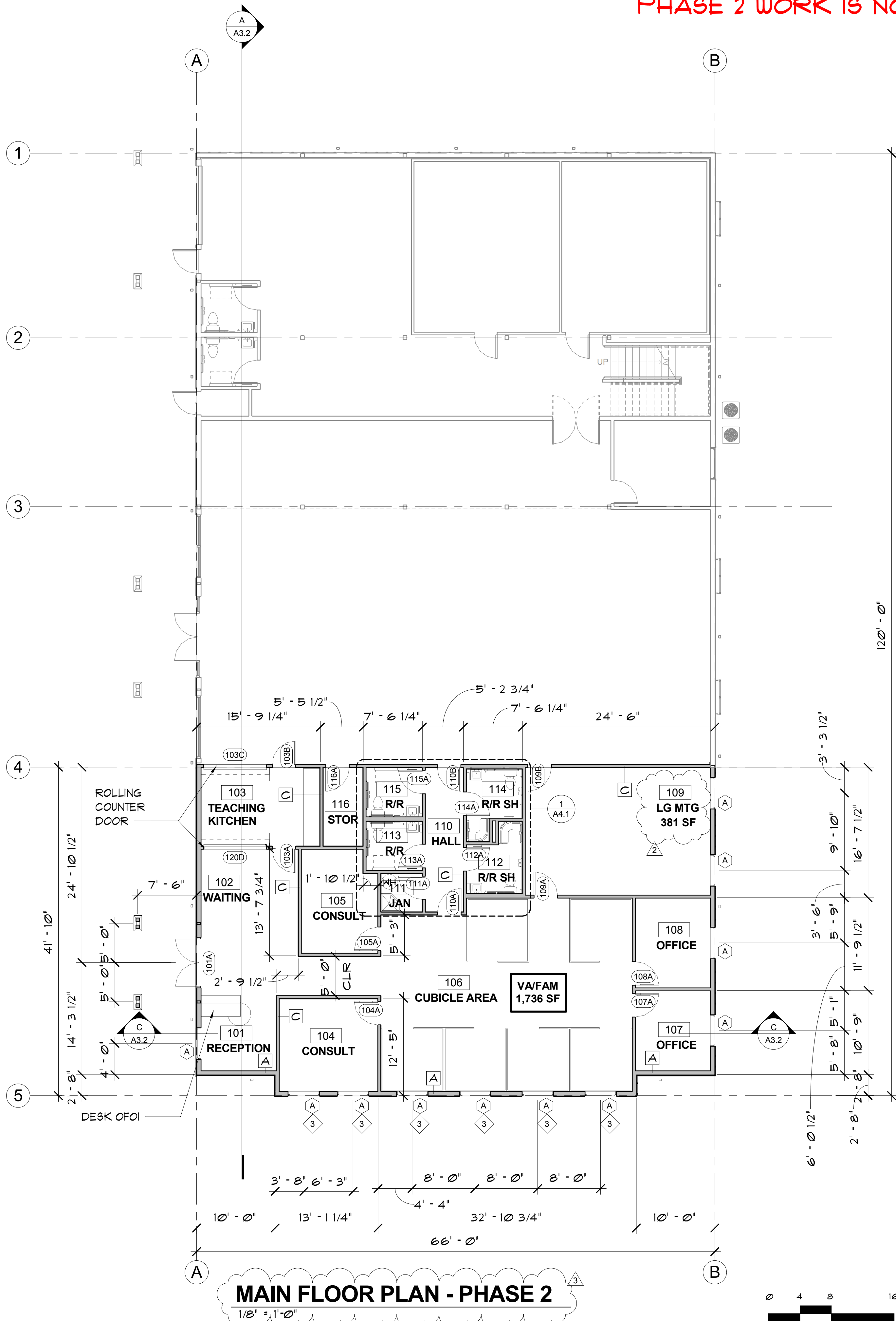
NEW BUILDING FOR:  
**FOOD BANK**  
8021 20TH ST SE, LAKE STEVENS, WA 98258

Date: 2019-04-17  
Scale Factor: 1  
Drawn: HE  
File: 18465

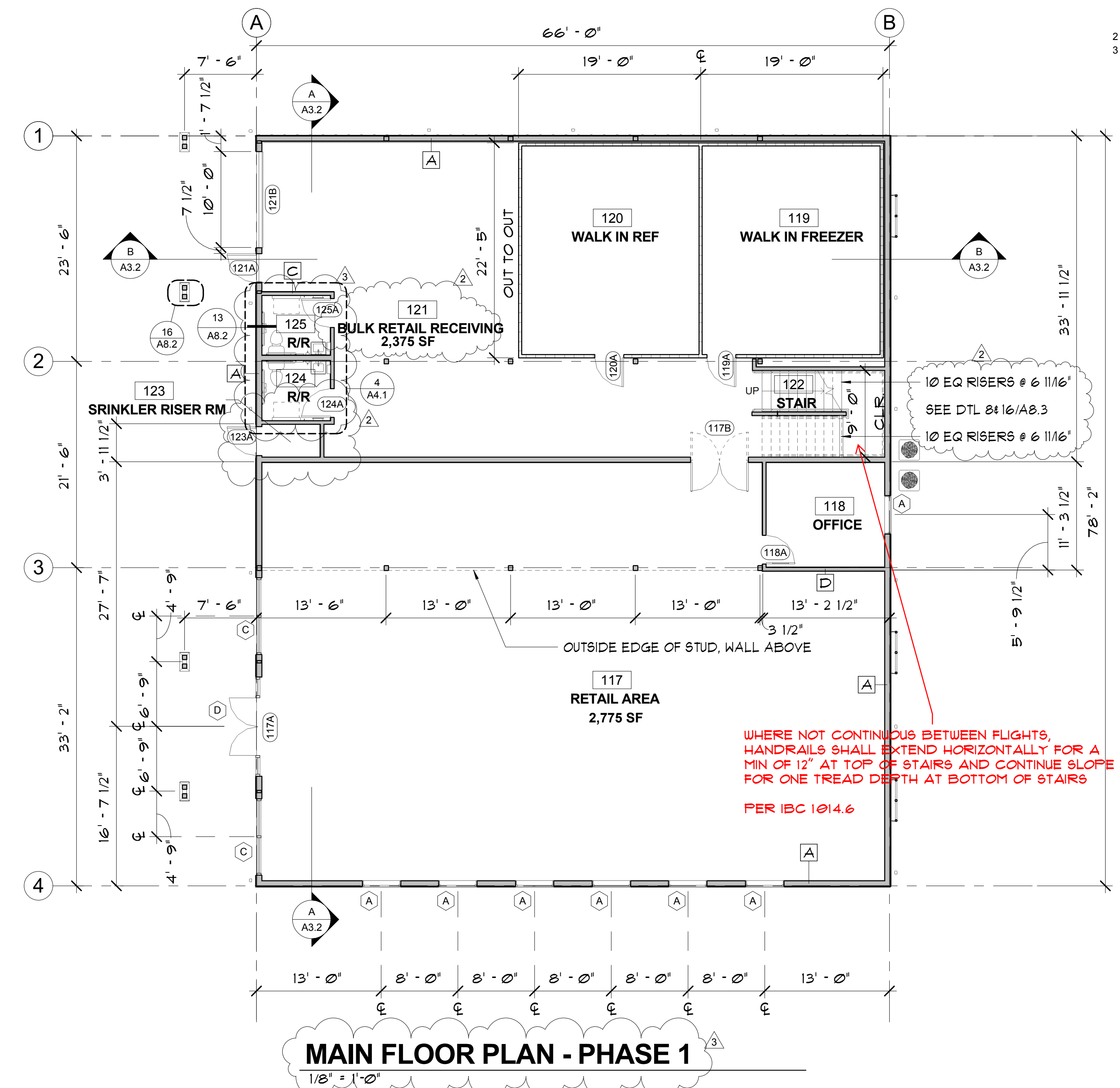
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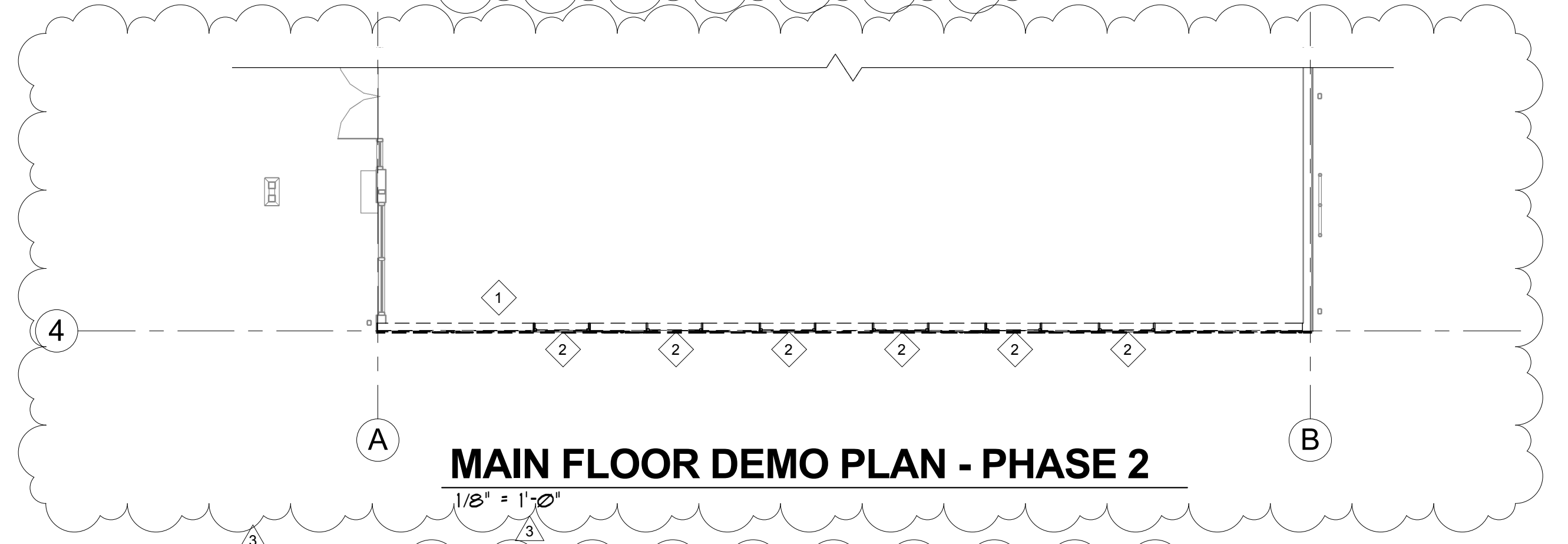
PHASE 2 WORK IS NOT APPROVED



**MAIN FLOOR PLAN - PHASE 2**  
1/8" = 1'-0"



**MAIN FLOOR PLAN - PHASE 1**  
1/8" = 1'-0"

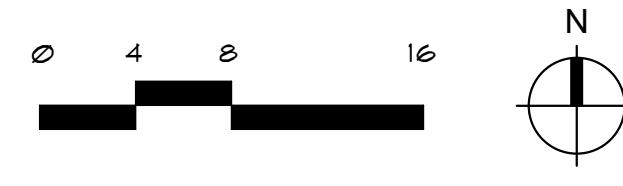


**MAIN FLOOR DEMO PLAN - PHASE 2**  
1/8" = 1'-0"

- MAIN FLOOR PLAN KEYNOTES**
- 1 REMOVE WALL
  - 2 REMOVE AND REINSTALL WINDOW IN PHASE 2, PER KEYNOTE 3.
  - 3 RELOCATE WINDOW THAT WAS REMOVED PER KEYNOTE 2 TO THIS LOCATION.

- WALL LEGEND**
- WALLS TO BE REMOVED
  - NEW WALLS
  - WALLS TO REMAIN

TOTAL FLOOR AREA 7,867 SF  
UPPER FLOOR 2,989 SF



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3	08-04-20 KM

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STATE OF WASHINGTON

WHERE NOT CONTINUOUS BETWEEN FLIGHTS,  
HANDRAILS SHALL EXTEND HORIZONTALLY FOR A  
MIN OF 12" AT TOP OF STAIRS AND CONTINUE SLOPE  
FOR ONE TREAD DEPTH AT BOTTOM OF STAIRS  
PER IBC 1014.6

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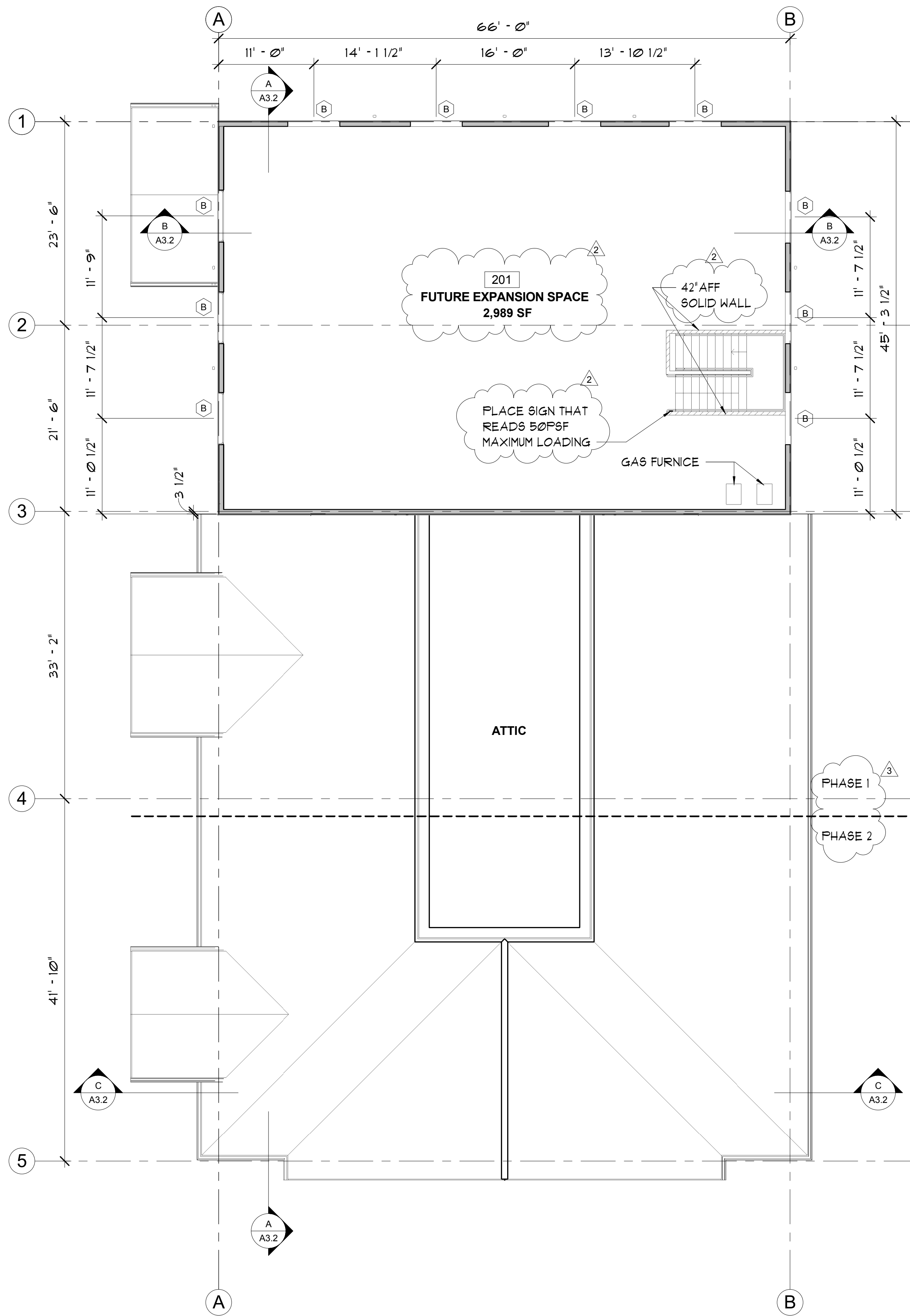
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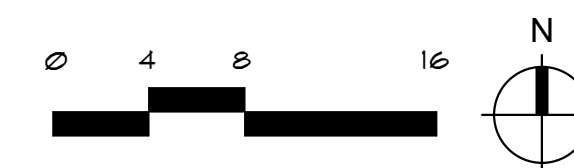
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**A2.2**



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**SECOND FLR**  
1/8" = 1'-0"



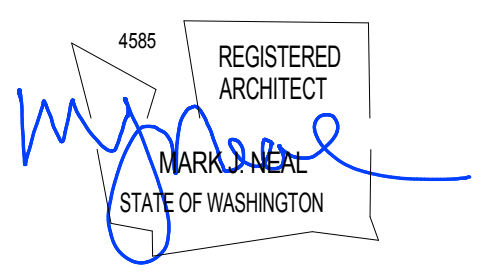
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2	07-02-19 HE
3	08-04-20 KM

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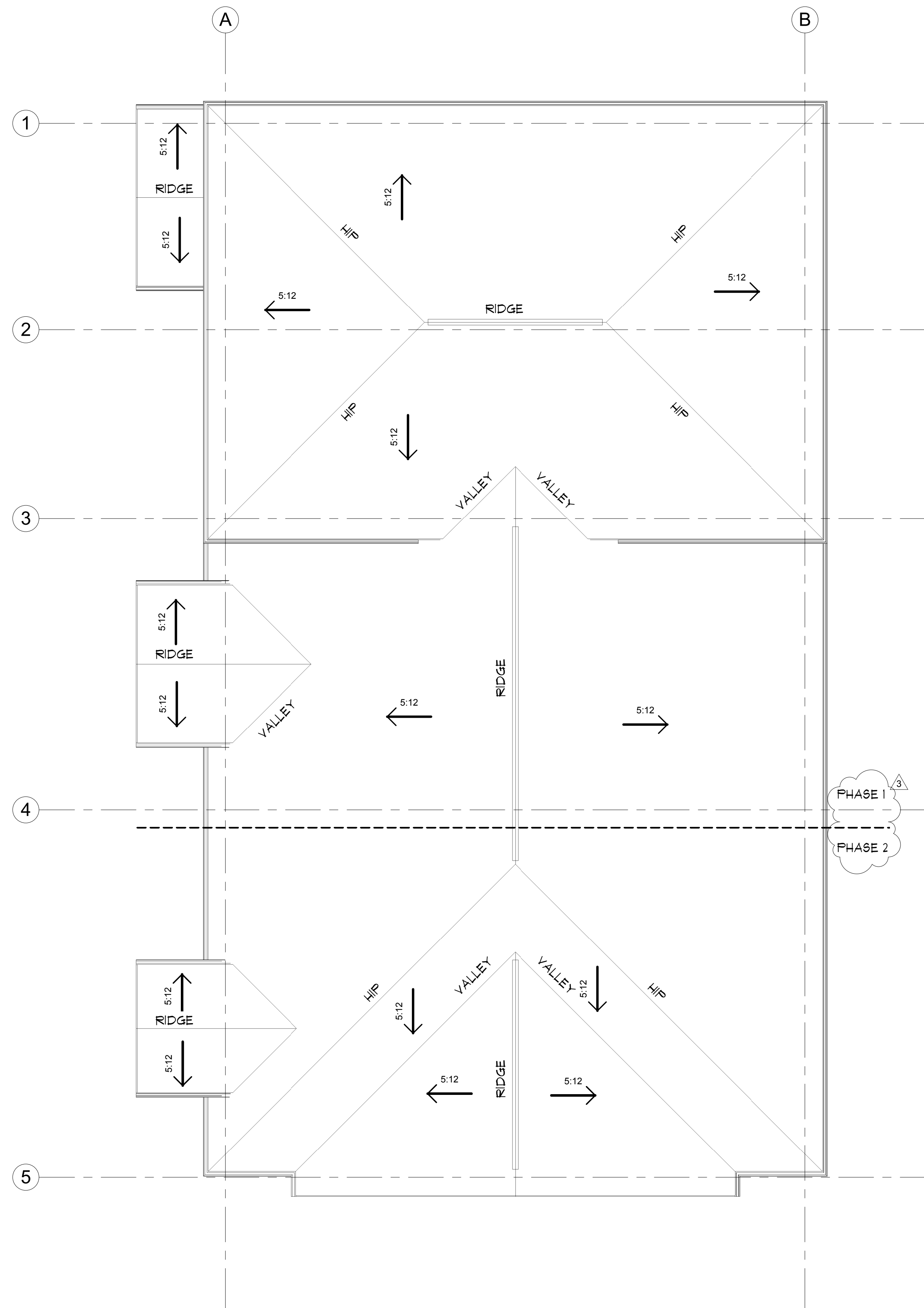
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**A2.3**



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**ATTIC VENTILATION CALCS**

UPPER ROOF:  
 ATTIC AREA: 2,986 SF  
 IBC 1203.2: /150 = 19 SF REQ'D  
 EAVE VENTS: 202 LFx.17' = 34 SF PROVIDED  
 RIDGE VENTS: 20 LFx148/LF = 2 SF PROVIDED  
 36 SF > 19 SF, OK

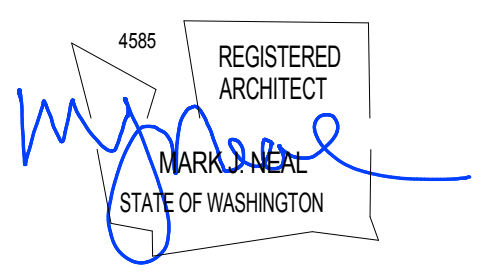
LOWER ROOF:  
 ATTIC AREA: 4,880 SF  
 IBC 1203.2: /150 = 32 SF REQ'D  
 EAVE VENTS: 216 LFx.17' = 37 SF PROVIDED  
 RIDGE VENTS: 58 LFx148/LF = 6 SF PROVIDED  
 43 SF > 32 SF, OK

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3	KM



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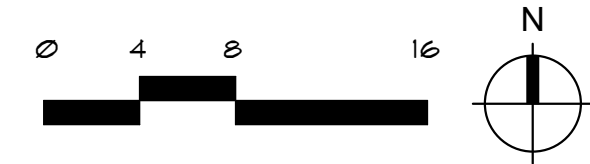


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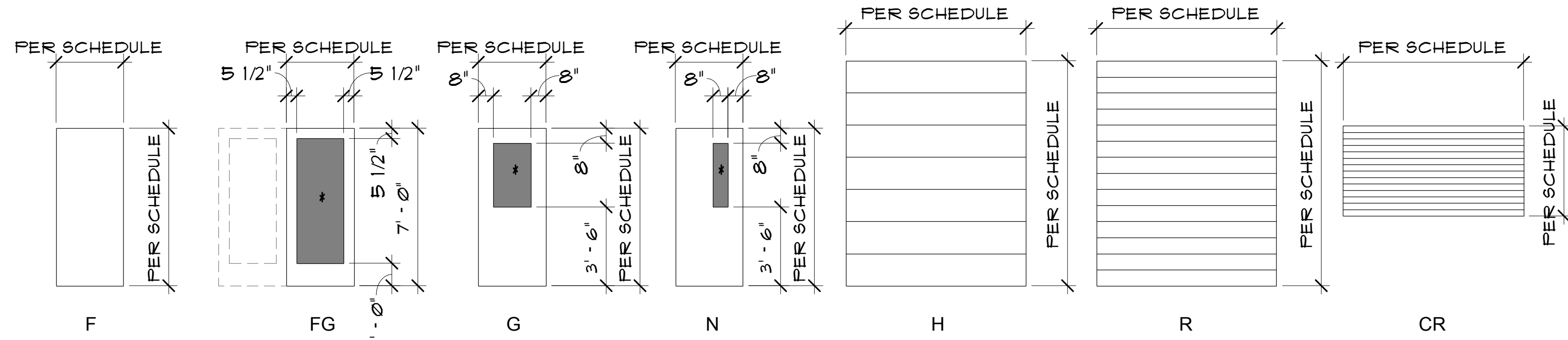
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**ROOF PLAN**  
 1/8" = 1'-0"



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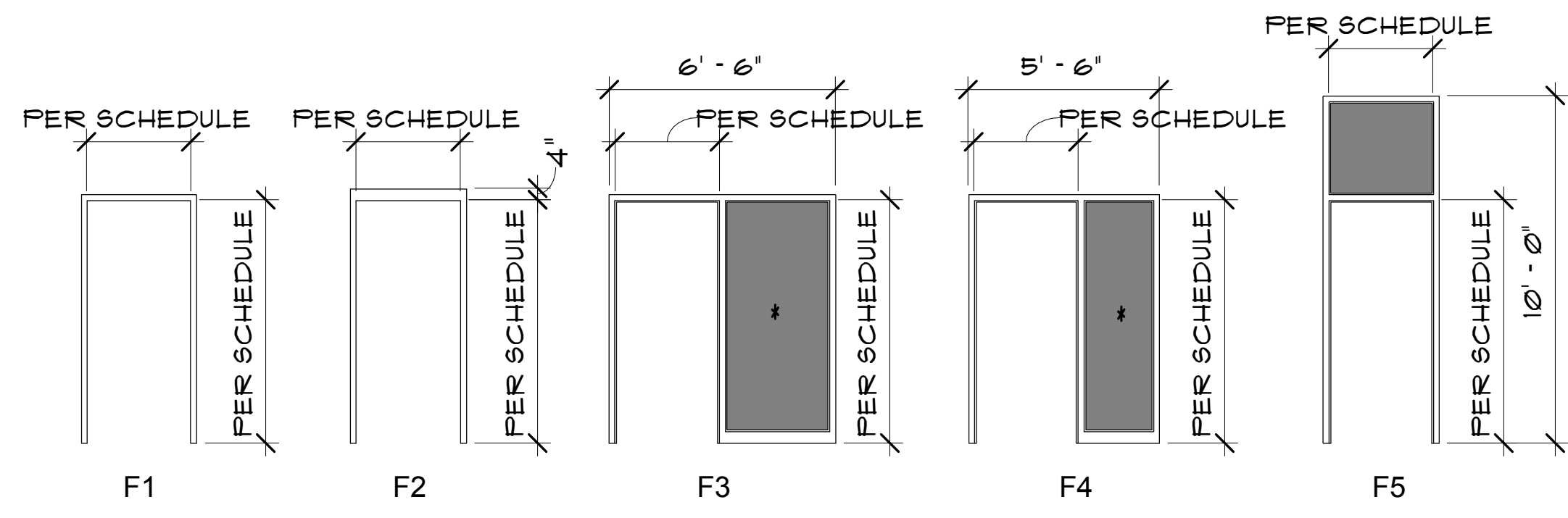
**DOOR ELEVATIONS**

1/4" = 1'-0"

MARK	COUNT	OPERATION	WIDTH	HEIGHT	REMARKS
A	7	FIXED	4' - 0"	5' - 0"	
B	10	FIXED	6' - 0"	2' - 0"	
C	2		8' - 0"	8' - 10"	STOREFRONT - SEE ELEV. FOR ASSEMBLY
D	1		10' - 4"	8' - 10"	STOREFRONT - SEE ELEV. FOR ASSEMBLY

MARK	COUNT	OPERATION	WIDTH	HEIGHT	REMARKS
A	5	FIXED	4' - 0"	5' - 0"	

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**DOOR FRAME TYPES**

1/4" = 1'-0"

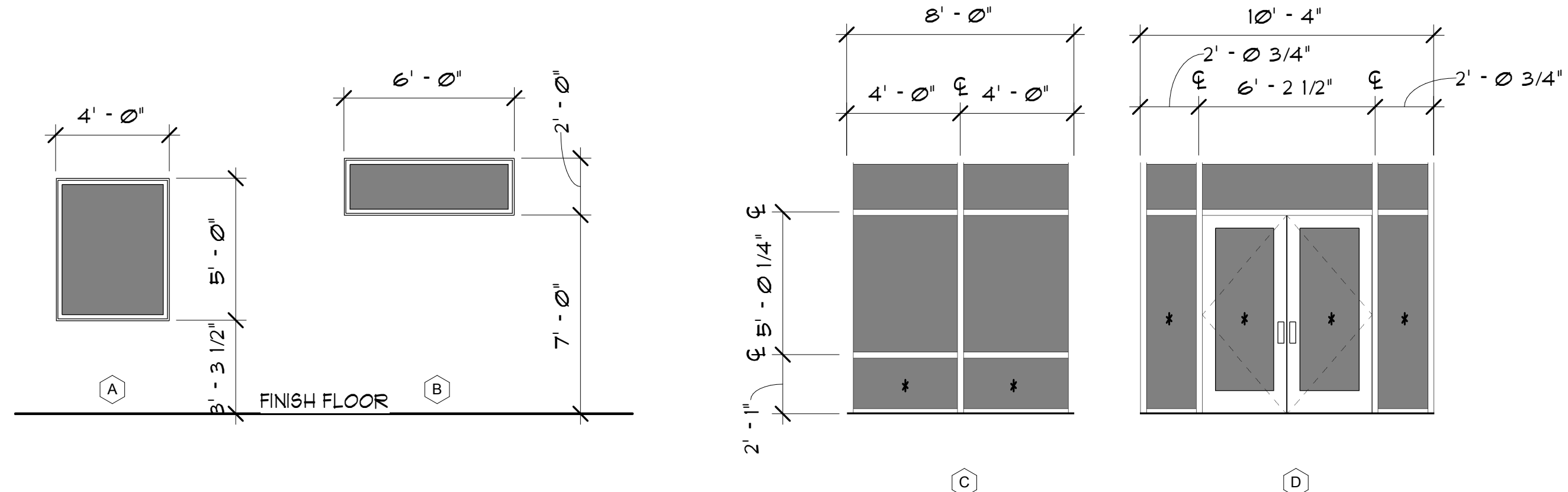
**DOOR CONSTRUCTION**

- TYPE 1: 18 GA. INSULATED HOLLOW METAL
- TYPE 2: 16 GA. UN-INSULATED HOLLOW METAL
- TYPE 3: SOLID CORE HARDWOOD VENEER
- TYPE 4: PLASTIC LAMINATE VENEER
- TYPE 5: NOT USED
- TYPE 6: ALUMINUM STOREFRONT
- TYPE 7: COILING COUNTER DOOR
- TYPE 8: OVERHEAD SECTIONAL
- TYPE 9: OVERHEAD COILING

**DOOR NOTES**

1. FOR M (MATERIAL) AND F (FINISH) SEE SCHEDULES THIS SHT
2. SEE ENERGY NOTES FOR OPAQUE DOOR U-FACTOR
3. SEE DIVISION 8 OF SPECIFICATION FOR DOOR AND GLAZING REQUIREMENTS
4. SEE SECTION 08 71 00 FOR HARDWARE GROUP REFERENCES
5. \* SYMBOL INDICATES TEMPERED GLAZING
6. \*SF\* INDICATES SPANDREL GLASS

DOOR NO.	WIDTH	HEIGHT	DOOR		FRAME		HDWR GRP (SPEC)	DETAIL			LABEL (HR)	COMMENTS		
			ELEV	CONST	M	F		TYPE	M	F			JAMB	HEAD
101A	6' - 0"	7' - 0"	PR FG	6	M1	2	PR FI	M1	2	SEE SHT A2.6	8/A8.1	7/A8.1	-	
103A	3' - 0"	7' - 0"	N	3	H2	16	FI	J2	16	SEE SHT A2.6	10/A8.1	10/A8.1	-	
103B	3' - 0"	7' - 0"	N	3	H2	16	FI	J2	16	SEE SHT A2.6	10/A8.1	10/A8.1	-	
103C	8' - 0"	4' - 0"	CR	7	M1	2	-	M1	2	SEE SHT A2.6			-	FACE OF WALL MOUNT
104A	3' - 0"	7' - 0"	G	3	H2	16	FI	J2	16	SEE SHT A2.6	10/A8.1	10/A8.1	-	
105A	3' - 0"	7' - 0"	G	3	H2	16	FI	J2	16	SEE SHT A2.6	10/A8.1	10/A8.1	-	
107A	3' - 0"	7' - 0"	G	3	H2	16	FI	J2	16	SEE SHT A2.6	10/A8.1	10/A8.1	-	
108A	3' - 0"	7' - 0"	G	3	H2	16	FI	J2	16	SEE SHT A2.6	10/A8.1	10/A8.1	-	
109A	3' - 0"	7' - 0"	N	3	H2	16	FI	J2	16	SEE SHT A2.6	10/A8.1	10/A8.1	-	
109B	3' - 0"	7' - 0"	N	3	H2	16	FI	J2	16	SEE SHT A2.6	10/A8.1	10/A8.1	-	
110A	3' - 0"	7' - 0"	F	3	H2	16	FI	J2	16	SEE SHT A2.6	10/A8.1	10/A8.1	-	
110B	3' - 0"	7' - 0"	F	3	H2	16	FI	J2	16	SEE SHT A2.6	10/A8.1	10/A8.1	-	
111A	3' - 0"	7' - 0"	F	3	H2	16	FI	J2	16	SEE SHT A2.6	10/A8.1	10/A8.1	-	
112A	3' - 0"	7' - 0"	F	3	H2	16	FI	J2	16	SEE SHT A2.6	10/A8.1	10/A8.1	-	
113A	3' - 0"	7' - 0"	F	3	H2	16	FI	J2	16	SEE SHT A2.6	10/A8.1	10/A8.1	-	
114A	3' - 0"	7' - 0"	F	3	H2	16	FI	J2	16	SEE SHT A2.6	10/A8.1	10/A8.1	-	
115A	3' - 0"	7' - 0"	F	3	H2	16	FI	J2	16	SEE SHT A2.6	10/A8.1	10/A8.1	-	
116A	3' - 0"	7' - 0"	F	3	H2	16	FI	J2	16	SEE SHT A2.6	10/A8.1	10/A8.1	-	
117A	6' - 0"	7' - 0"	PR FG	6	M1	2	PR FI	M1	2	SEE SHT A2.6			-	
117B	6' - 0"	7' - 0"	NN	3	H2	16	FI	J2	16	SEE SHT A2.6	10/A8.1	10/A8.1	-	
118A	3' - 0"	7' - 0"	G	3	H2	16	FI	J2	16	SEE SHT A2.6	10/A8.1	10/A8.1	-	
119A	3' - 0"	7' - 0"	F	3	H2	16	FI	J2	16	SEE SHT A2.6	10/A8.1	10/A8.1	-	BY FRZR MANUFR
120A	3' - 0"	7' - 0"	F	3	H2	16	FI	J2	16	SEE SHT A2.6	10/A8.1	10/A8.1	-	BY REF MANUFR
120D	8' - 0"	4' - 0"	CR	7	M1	2	-	M1	2	SEE SHT A2.6			-	FACE OF WALL MOUNT
121A	3' - 0"	7' - 0"	F	1	M2	18C	FI	M2	18C	SEE SHT A2.6	6/A8.1	6/A8.1	-	
121B	10' - 0"	9' - 0"	F	9	M2	18C	FI	M2	18C	SEE SHT A2.6			-	STANDARD ROLL-UP TRACK
123A	3' - 0"	7' - 0"	F	1	M2	18C	FI	M2	18C	SEE SHT A2.6			-	
124A	3' - 0"	7' - 0"	F	3	H2	16	FI	J2	16	SEE SHT A2.6	10/A8.1	10/A8.1	-	
125A	3' - 0"	7' - 0"	F	3	H2	16	FI	J2	16	SEE SHT A2.6	10/A8.1	10/A8.1	-	



**WINDOW ELEVATIONS**

1/4" = 1'-0"

**MATERIALS:** NOTE: NOT ALL ITEMS LISTED ARE USED

- A. CONCRETE
- B. CONCRETE MASONRY UNIT (CMU)
- C. BRICK
- D. CEMENTITIOUS UNDERLAYMENT:
  1. 1 1/4" W/ ACOUSTIC MAT
  2. 1" NOMINAL
- E. CEMENT BOARD
- F. 5/8" TYPE 'X' GWB
- G. WATER RESISTANT GWB
- H. HARDWOOD:
  1. OAK
  2. BIRCH
  3. ALDER
  4. PANELING
  5. MAPLE
- J. SOFTWOOD
  1. FIR
  2. HEMLOCK
  3. PINE
- K. FLYWOOD
- L. PARTICLE BOARD
- M. METAL:
  1. ANODIZED ALUMINUM
  2. STEEL
- N. SUSPENDED GRID WITH LAY-IN ACOUSTICAL TILE:
  1. FIBERGLASS
  2. MINERAL FIBER
- P. SUSPENDED GRID WITH TILES (1-HR RATED)
- Q. HARDBOARD SIDING
- R. INSULATION SYSTEM VAPOR BARRIER

**FINISHES:** NOTE: NOT ALL ITEMS LISTED ARE USED

- 1. NO FINISH
- 2. PRE-FINISHED\*
- 3. CONCRETE SEALER, HARDENER
- 4. TILE: A. QUARRY
  - B. MOSIAC
  - C. CERAMIC
- 5. VINYL COMPOSITION TILE (VCT)
- 6. SHEET VINYL / RESILIENT FLOORING
- 7. RESILIENT BASE - 4"
- 8. LUXURY VINYL PLANK (LVP)
- 9. CARPET
- 10. VINYL WALL COVERING
- 11. GLASSBOARD
- 12. PLASTIC LAMINATE
- 13. FIRE TAPING
- 14. FINISH TAPING, TEXTURE
- 15. ACOUSTICAL CEILING TILE (GLUE-ON)
- 16. STAIN AND VARNISH
- 17. LATEX PAINT:
  - A. FLAT
  - B. SATIN
  - C. SEMI-GLOSS
  - D. GLOSS
- 18. LATEX ENAMEL PAINT:
  - A. FLAT
  - B. SATIN
  - C. SEMI-GLOSS
  - D. GLOSS
- 19. FIBERGLASS REINFORCED PANEL BOARD (FRP) MIN. 48" HIGH
- 20. RUBBER FLOORING
- 21. EPOXY PAINT
- 22. PIGMENTED CONCRETE
- 23. WALL CARPET
- 24. FABRIC / INSULATION
- 25. RESINOUS FLOORING
- 26. DIAMOND POLISHED PIGMENTED CONCRETE
- 27. STAINLESS STEEL CLADDING

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NEW BUILDING FOR:  
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8021 20TH ST SE, LAKE STEVENS, WA 98258

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**A2.5**



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PART 2 PRODUCTS

2.1 DOOR HARDWARE

- A. Hinge Manufacturers:
  1. Hager Companies.
  2. Bommer Industries Inc.
  3. McKinney MPB Hinges by Assa Abloy
  4. Substitutions: Permitted with approval of the Architect per Section 01 60 00.
- B. Lockset, Latch Set, and Cylinder Manufacturers:
  1. Yale.
  2. Schlage Lock Co.
  3. Best.
  4. Sargent 10 Line
  5. Hager Companies
  6. Substitutions: Permitted with approval of the Architect per Section 01 60 00.
- C. Exit Device Manufacturers:
  1. Yale.
  2. Von Duprin, Inc.
  3. Sargent 8800
  4. Substitutions: Permitted with approval of the Architect per Section 01 60 00.
- D. Closers Manufacturers:
  1. Norton.
  2. LCN Closers.
  3. Hager Companies
  4. Substitutions: Permitted with approval of the Architect per Section 01 60 00.
- E. Seals and Thresholds
  1. Pemko
  2. National Guard Products Inc.
  3. Reese Industries
  4. Ultra Industries
  5. Substitutions: Permitted with approval of the Architect per Section 01 60 00.

3.3 SCHEDULE

- A. The following hardware sets are intended to establish type and standard of quality when used together with this section's requirements. Examine Drawings and Specifications and furnish proper hardware for door openings.
- B. **Manufacturers:**

HINGES	HAGER
EXIT DEVICES	YALE
CLOSERS	NORTON
LOCKS & LATCHES	YALE
FLUSH BOLTS	HAGER
STOPS	HAGER
PUSH-PULLS	HAGER, TRIMCO
THRESHOLDS	PEMKO
SWEEPS	PEMKO
SEALS	PEMKO
DEAD BOLTS	SCHLAGE
SILENCERS	TRIMCO
ELECTRIC POWER TRANSFER POWER CONTROLLER	YALE
ELECTRIC STRIKES	YALE, PRECISION
OVERHEAD STOPS	HES INNOVATIONS
	ABH
- C. **Hardware Groups:**

**HARDWARE GROUP # 1**  
DOORS # 101A, 117A  
EACH TO RECEIVE:  
Aluminum manufacturer's standard, with Panic Device, lock, push/pull, hinges, weatherstripping, threshold, sweep. Clear anodized.

ROOM FINISH SCHEDULE														CABINET	COUNTER	REMARKS		
ROOM NO	Name	FLOOR	FLOOR	BASE	WALLS						M	F						
		M	F		NORTH		EAST		SOUTH				WEST					
					M	F	M	F	M	F	M	F	M	F				
101	RECEPTION	A	9	7	F				17B	F	17B	F	17B	F	17B			
102	WAITING	A	7	7	F				17B	F	17B	F	17B	F	17B			
103	TEACHING KITCHEN	A	6	7	F				17B	F	17B	F	17B	F	17B			
104	CONSULT	A	9	7	F				17B	F	17B	F	17B	F	17B			
105	CONSULT	A	9	7	F				17B	F	17B	F	17B	F	17B			
106	CUBICLE AREA	A	9	7	F				17B	F	17B	F	17B	F	17B			
107	OFFICE	A	9	7	F				17B	F	17B	F	17B	F	17B			
108	OFFICE	A	9	7	F				17B	F	17B	F	17B	F	17B			
109	LG MTG	A	9	7	F				17B	F	17B	F	17B	F	17B			
110	HALL	A	6	7	F				17B	F	17B	F	17B	F	17B			
111	JAN	A	3	7	G				17C	G	17C	G	17C/12	G	17C/12			
112	R/R SH	A	6	7 (1)	G				17C	G	17C/12	G	17C/12	G	17C			
113	R/R	A	6	7 (1)	G				17C/12	G	17C	G	17C	G	17C/12			
114	R/R SH	A	6	7 (1)	G				17C/12	G	17C/12	G	17C	G	17C			
115	R/R	A	6	7 (1)	G				17C	G	17C	G	17C/12	G	17C/12			
116	STOR	A	3	7	F				17B	F	17B	F	17B	F	17B			
117	RETAIL AREA	A	3	7	F				17B	F	17B	F	17B	F	17B			
118	OFFICE	A	3	7	F				17B	F	17B	F	17B	F	17B			
119	WALK IN FREEZER	A	3	-	M				2	M	2	M	2	M	2			MODULAR WALL PANELS
120	WALK IN REF	A	3	-	M				2	M	2	M	2	M	2			MODULAR WALL PANELS
121	BULK RETAIL RECEIVING	A	3	7	F/M				17B/2	M	2	F	17B	F	17B			MODULAR PANELS
122	STAIR	A	6	7	F				17B	F	17B	F	17B	-	-			VYNIL TREADS, RISER, SKIRT
123	SRINKLER RISER RM	A	3	7	F				17B	F	17B	F	17B	F	17B			
124	R/R	A	6	7 (1)	G				17C/12	G	17C	G	17C	G	17C/12			
125	R/R	A	6	7 (1)	G				17C	G	17C	G	17C/12	G	17C/12			
201	FUTURE EXPANSION SPACE	K	1	7	F				17B	F	17B	F	17B	F	17B			NO SUBSTITUTING OSB FOR FLYWD FLR

PHASE 2  
PHASE 1

SRINKLER RISER RM

**MATERIALS:** NOTE: NOT ALL ITEMS LISTED ARE USED

- A. CONCRETE
- B. CONCRETE MASONRY UNIT (CMU)
- C. BRICK
- D. CEMENTITONS UNERLAYMENT:
  1. 1 1/4" W/ ACOUSTIC MAT
  2. 1" NOMINAL
- E. CEMENT BOARD
- F. 5/8" TYPE 'X' GWB
- G. WATER RESISTANT GWB
- H. HARDWOOD:
  1. OAK
  2. BIRCH
  3. ALDER
  4. PANELING
  5. MAPLE
- J. SOFTWOOD
  1. FIR
  2. HEMLOCK
  3. PINE
- K. PLYWOOD
- L. PARTICLE BOARD
- M. METAL:
  1. ANODIZED ALUMINUM
  2. STEEL
- N. SUSPENDED GRID WITH LAY-IN ACOUSTICAL TILE:
  1. FIBERGLASS
  2. MINERAL FIBER
- P. SUSPENDED GRID WITH TILES (1-HR RATED)
- Q. HARDBOARD SIDING
- R. INSULATION SYSTEM VAPOR BARRIER

**FINISHES:** NOTE: NOT ALL ITEMS LISTED ARE USED

- 1. NO FINISH
- 2. PRE-FINISHED
- 3. CONCRETE SEALER, HARDENER
- 4. TILE: A. QUARRY
  - B. MOSIAC
  - C. CERAMIC
- 5. VINYL COMPOSITION TILE (VCT)
- 6. SHEET VINYL / RESILIENT FLOORING
- 7. RESILIENT BASE - 4"
- 8. LUXURY VINYL PLANK (LVP)
- 9. CARPET
- 10. VINYL WALL COVERING
- 11. GLASSBOARD
- 12. PLASTIC LAMINATE
- 13. FIRE TAPING
- 14. FINISH TAPING, TEXTURE
- 15. ACOUSTICAL CEILING TILE (GLUE-ON)
- 16. STAIN AND VARNISH
- 17. LATEX PAINT:
  - A. FLAT
  - B. SATIN
  - C. SEMI-GLOSS
  - D. GLOSS
- 18. LATEX ENAMEL PAINT:
  - A. FLAT
  - B. SATIN
  - C. SEMI-GLOSS
  - D. GLOSS
- 19. FIBERGLASS REINFORCED PANEL BOARD (FRP) MIN. 48" HIGH
- 20. RUBBER FLOORING
- 21. EPOXY PAINT
- 22. PIGMENTED CONCRETE
- 23. WALL CARPET
- 24. FABRIC / INSULATION
- 25. RESINOUS FLOORING
- 26. DIAMOND POLISHED PIGMENTED CONCRETE
- 27. STAINLESS STEEL CLADDING

**ROOM FINISH SCHEDULE GENERAL NOTES**

- 1. SEE REFLECTED CEILING PLAN
- 2. CEILING HT. NOTED IS +/- NOMINAL
- 3. \* SEE PLAN FOR VARIOUS FLOOR FINISHES
- 4. SEE INTERIOR ELEVATIONS FOR MIRRORS & VARIOUS WALL FINISHES
- 5. (E) DENOTES EXISTING CONDITION
- 6. (V) OR "VARIES" DENOTES VARIATION IN CEILING HEIGHT
- SEE SECTIONS, DETAILS

**ROOM FINISH SCHEDULE KEY NOTES**

- ① TYPICAL WALL BASE TO BE 4' HIGH EXCEPT 6' @ R.R.'S

**GWB FINISH SCHEDULE**

- 1. SEE SPEC SECTION 09 21 16 FOR LEVELS OF FINISH DESCRIPTION.
- 2. LEVEL TWO FINISH: CONCEALED AREAS OF WALLS SCHEDULED TO RECEIVE FRP, CERAMIC TILE, OR OTHER APPLIED MATERIALS.
- 3. LEVEL THREE FINISH: MECHANICAL, STORAGE, AND UTILITY AREAS.
- 4. LEVEL FOUR FINISH: ALL GWB TO RECEIVE TEXTURE UNLESS SPECIFICALLY NOTED OTHERWISE ABOVE.

**FINISH MATERIAL NOTES**

- 1. SEE REFLECTED CEILING PLAN FOR CEILING FINISHES AND HEIGHTS
- 2. SEE INTERIOR ELEVATIONS FOR ACCESSORIES AND VARIOUS WALL FINISHES
- 3. PROVIDE FLOOR TRANSITION STRIPS BETWEEN DISSIMILAR FLOORING MATERIALS. SEE SPECIFICATION.
- 4. PROVIDE MTL J-TRIM AND CAULK JOINT AT ALL EXPOSED GWB EDGES ADJACENT TO DISSIMILAR MATERIALS.

**ABBREVIATIONS**

CONC	CONCRETE
CMU	CONCRETE MASONRY UNIT
EXIST	EXISTING
GWB	GYPSUM WALLBOARD
OPW	OPERABLE WALL
SLR	SEALER
TBD	TO BE DETERMINED
WD	WOOD
WRGWB	WATER-RESISTANT GWB
FPLY	FIRE-TREATED FLYWOOD

Lake Stevens Food Bank 18465	Door Hardware 08 71 00-5
<b>HARDWARE GROUP # 2</b> DOOR # 121A, 123A EACH TO RECEIVE: 3 Hinges FBB 179 4 1/2 x 4 1/2 626 ST 1 Touchscreen Access Lock MO 5304LN MO-E4761LN 626 YA 1 Closer QDC 115 Silver Paint SH 1 Weatherstripping 305 CR head & jams 1 Floor Stop Hager 252F 1 Door Bottom 315 CN 1 Threshold 172A x MSES10	<b>HARDWARE GROUP # 7</b> DOORS # 111A, 116A EACH TO RECEIVE: 3 Hinges FBB 179 4 1/2 x 4 1/2 626 ST 1 Lockset MO 5308 LN 626 YA 1 Wallstop 1270WV TR
<b>HARDWARE GROUP # 3</b> DOORS # 103A, 109A EACH TO RECEIVE: 3 Hinges FBB 179 4 1/2 x 4 1/2 626 ST 1 Latchset MO 5301 LN 626 YA 1 Wallstop 1270WV TR	<b>HARDWARE GROUP # 8</b> DOOR # 117B EACH TO RECEIVE: 4 Double-Acting Hinges 30293603 626 TR 6 Push Plates 1001-11 (8" x 16") 626 TR 4 Kick Plates K0050 (36" x 16") 626 TR
<b>HARDWARE GROUP # 4</b> DOORS # 104A, 105A, 107A, 108A, 118A EACH TO RECEIVE: 3 Hinges FBB 179 4 1/2 x 4 1/2 626 ST 1 Lockset MO 5304 LN 626 YA 1 Wallstop 1270WV TR	<b>HARDWARE GROUP # 9</b> DOORS # 110A, 110B EACH TO RECEIVE: 3 Hinges FBB 179 4 1/2 x 4 1/2 626 ST 1 Latchset MO 5301 LN 626 YA 1 Deadbolt D212 (Rm #110 Side) 626 YA (cylinder x thumbturn) 1 Closer QDC 115 Silver Paint ST 1 Wallstop 1270WV TR
<b>HARDWARE GROUP # 5</b> DOORS # 103B, 109B EACH TO RECEIVE: 3 Hinges FBB 179 4 1/2 x 4 1/2 626 ST 1 Lockset MO 5304 LN 626 YA 1 Closer QDC 115 Silver Paint ST 1 Wallstop 1270WV TR	<b>HARDWARE GROUP # 10</b> DOORS # 119A, 120A EACH TO RECEIVE: Manufacturers door hardware (Walk-in cooler / freezer)
<b>HARDWARE GROUP # 6</b> DOORS # 112A, 113A, 114A, 115A EACH TO RECEIVE: 3 Hinges FBB 179 4 1/2 x 4 1/2 626 ST 1 Lockset MO 5302 LN 626 YA 1 Wallstop 1270WV TR	

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3	08-04-20 KM

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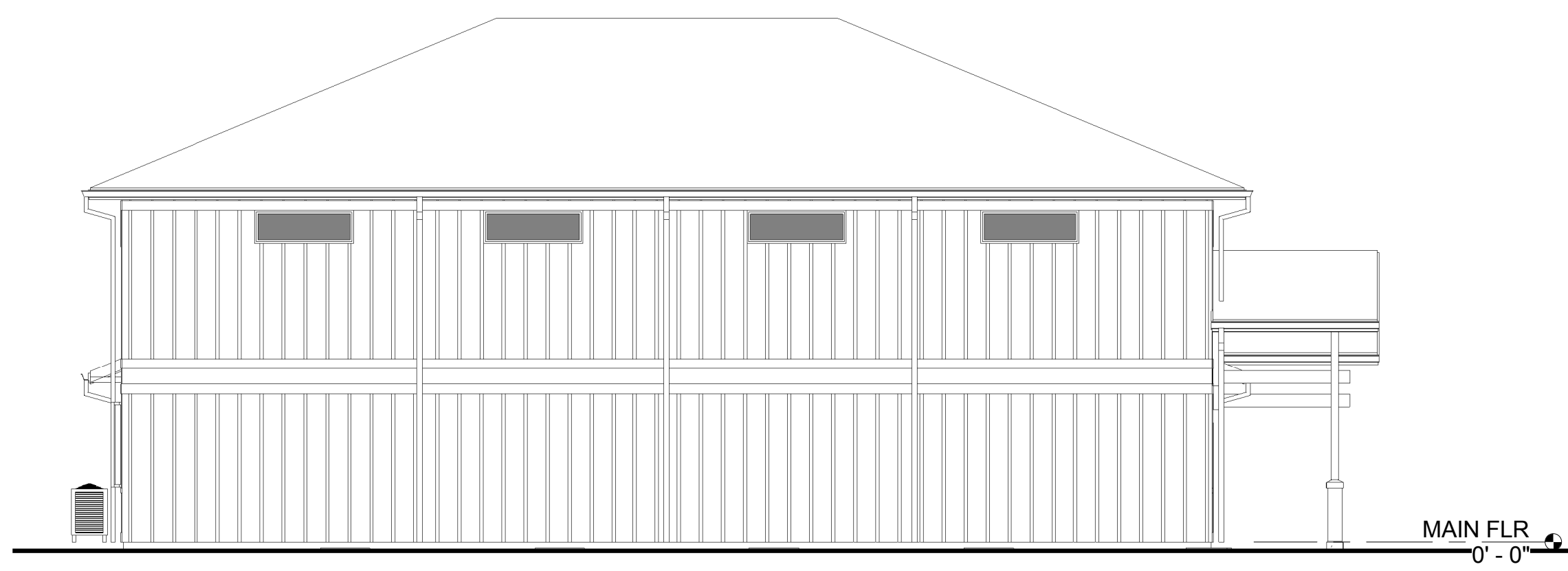
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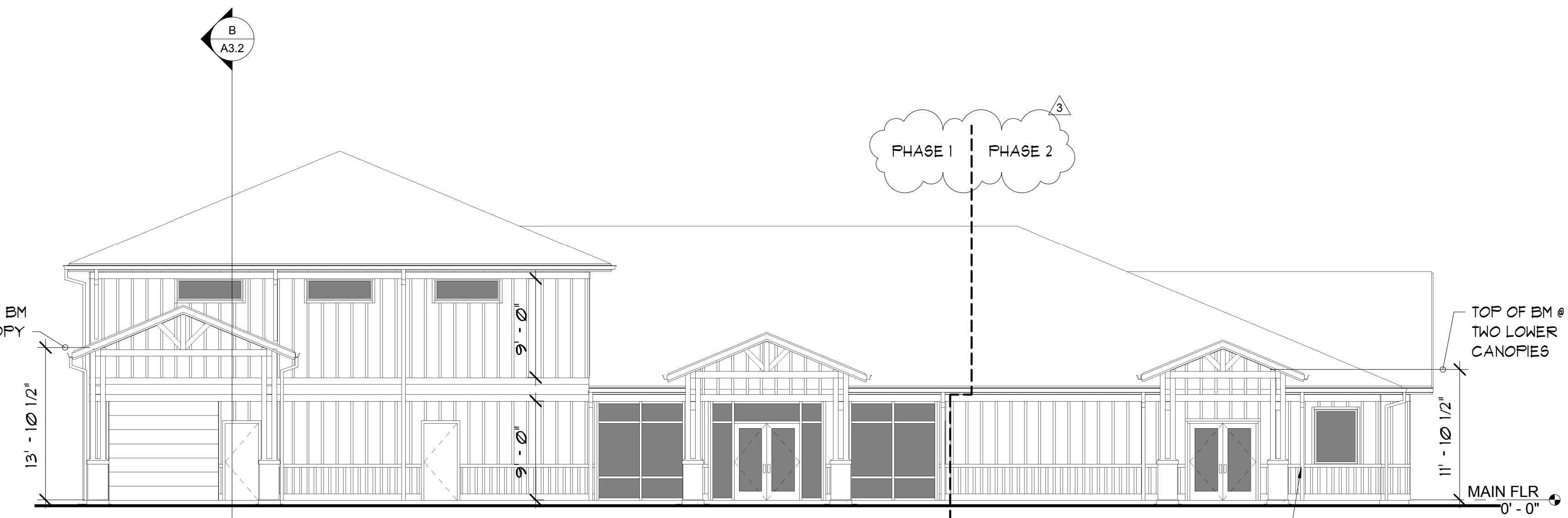
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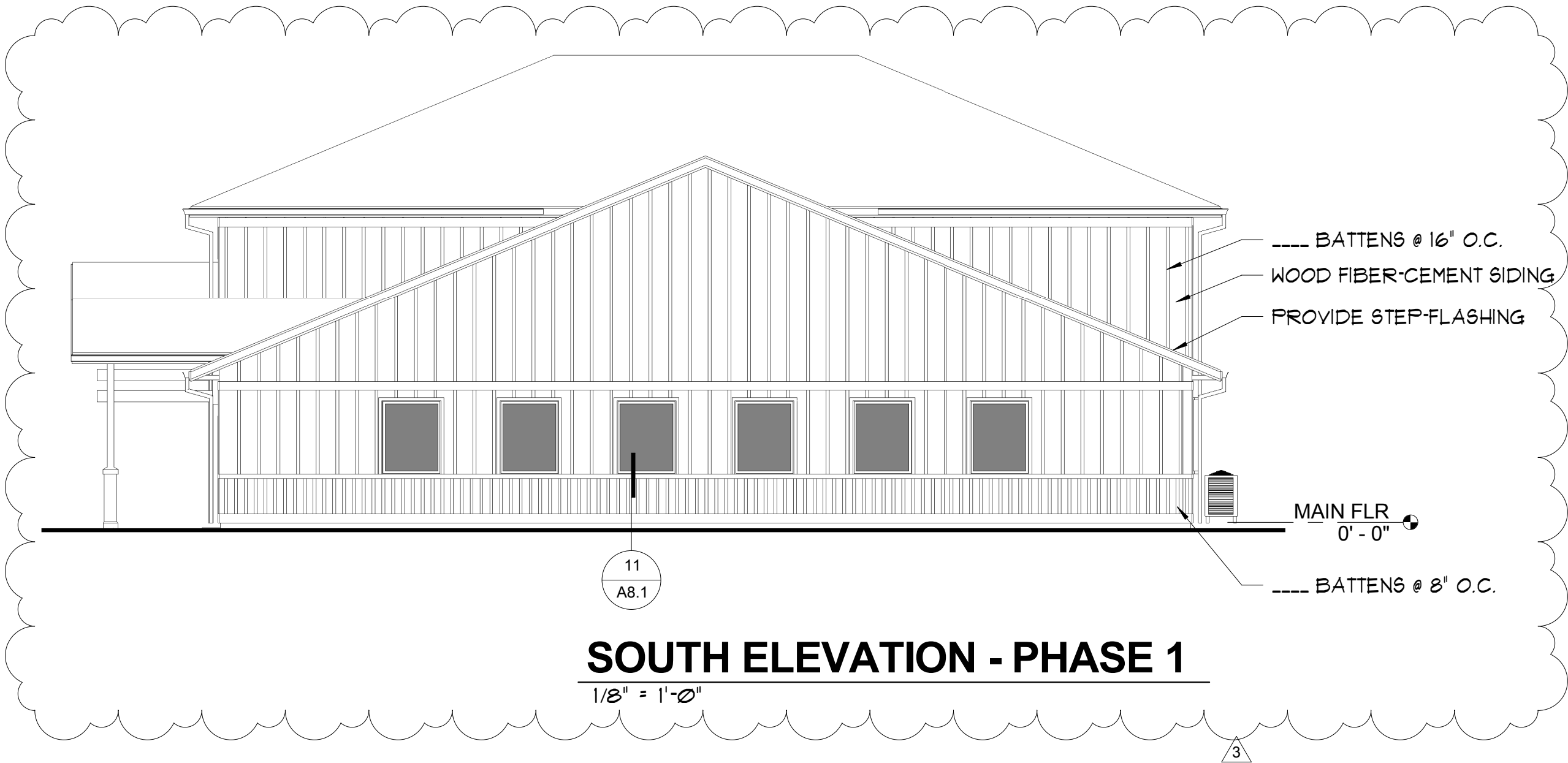
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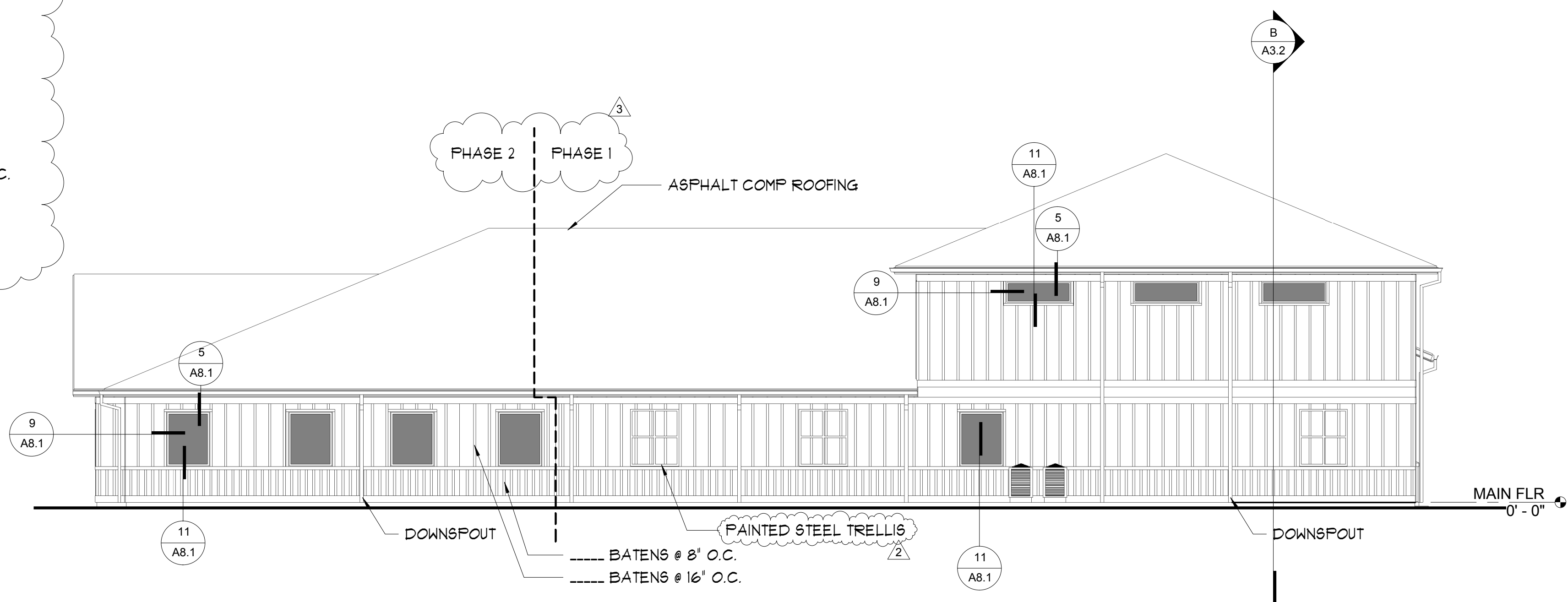
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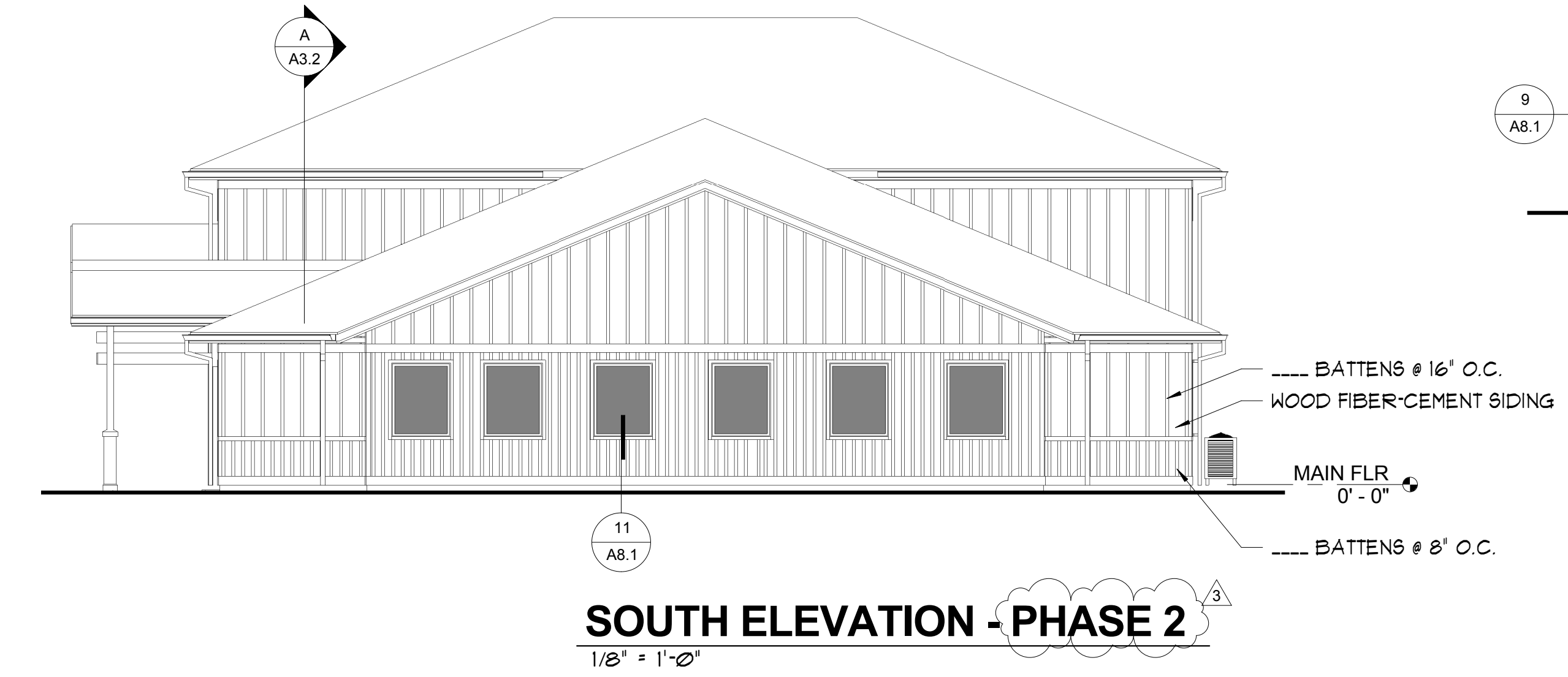
**WEST ELEVATION**  
1/8" = 1'-0"



**SOUTH ELEVATION - PHASE 1**  
1/8" = 1'-0"



**EAST ELEVATION**  
1/8" = 1'-0"



**SOUTH ELEVATION - PHASE 2**  
1/8" = 1'-0"

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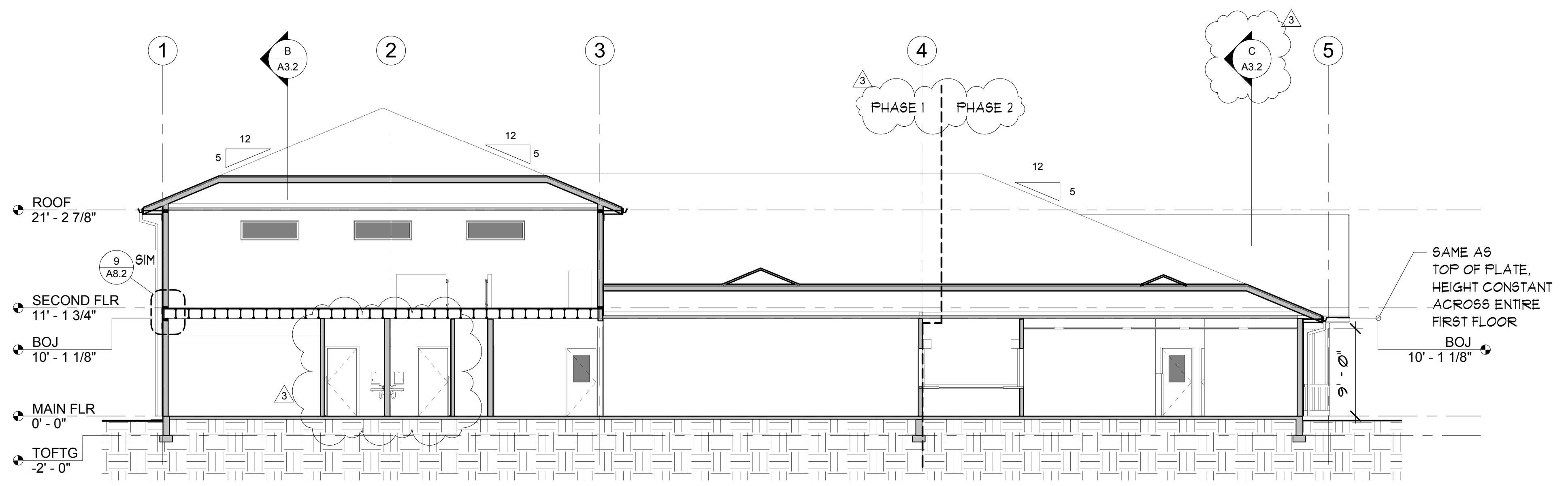
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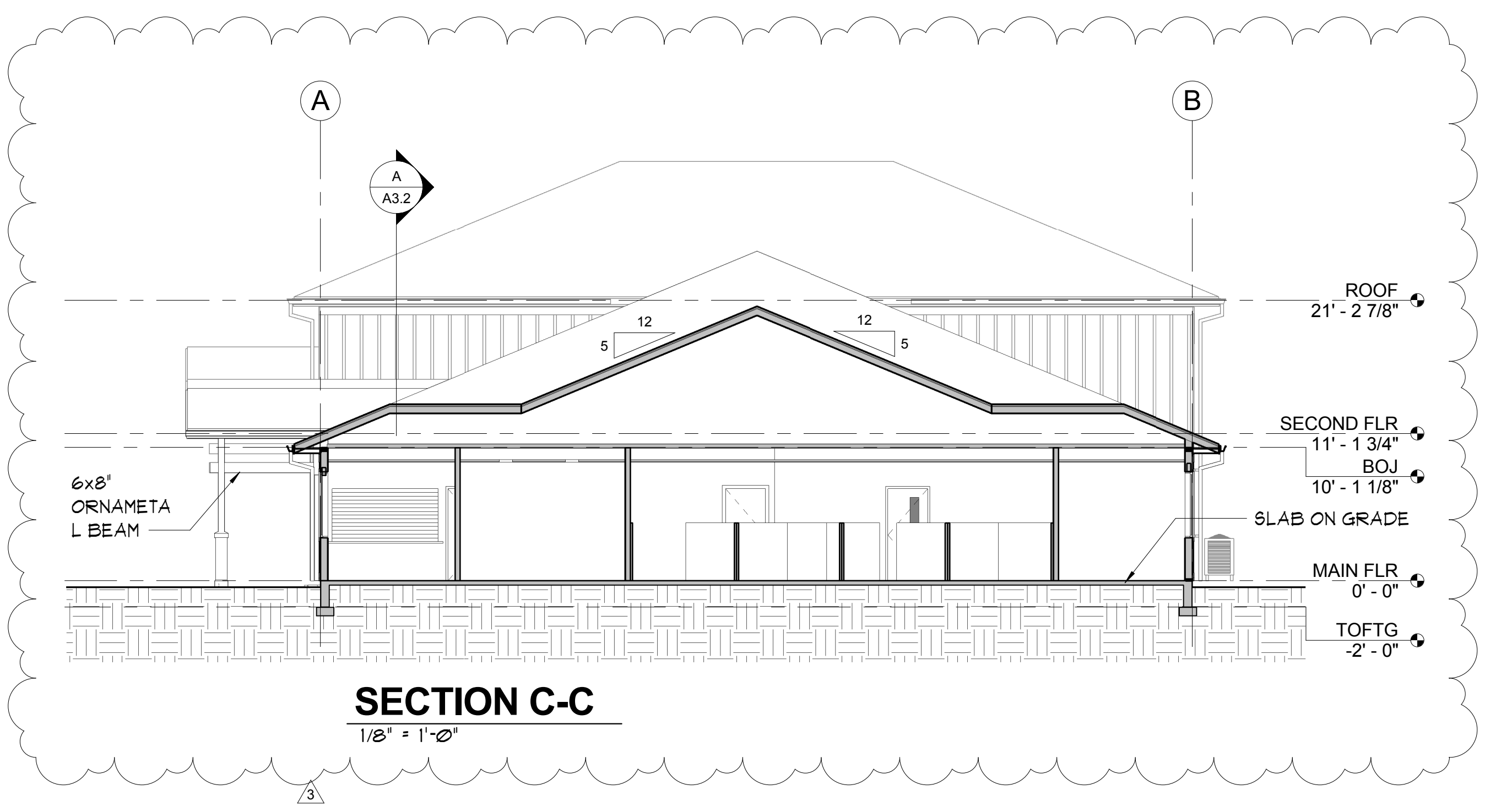
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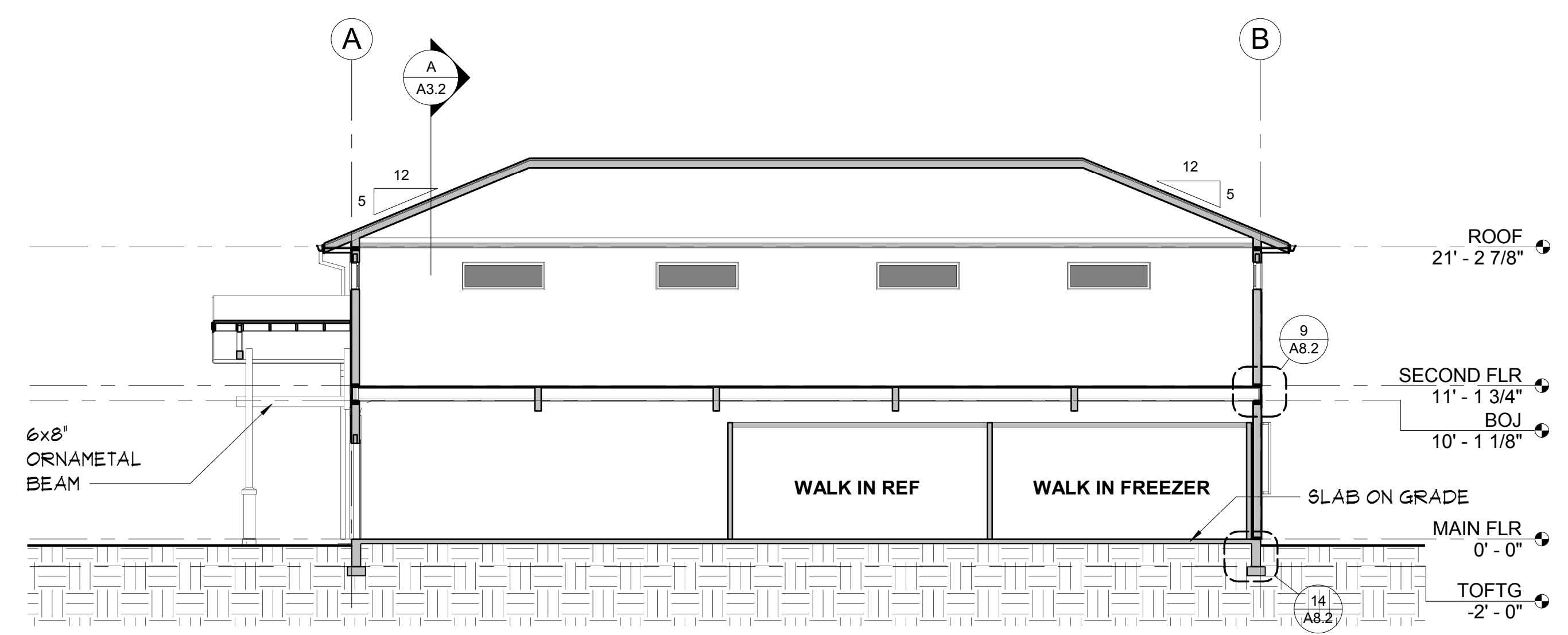
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**SECTION A-A**  
1/8" = 1'-0"



**SECTION C-C**  
1/8" = 1'-0"



**SECTION B-B**  
1/8" = 1'-0"

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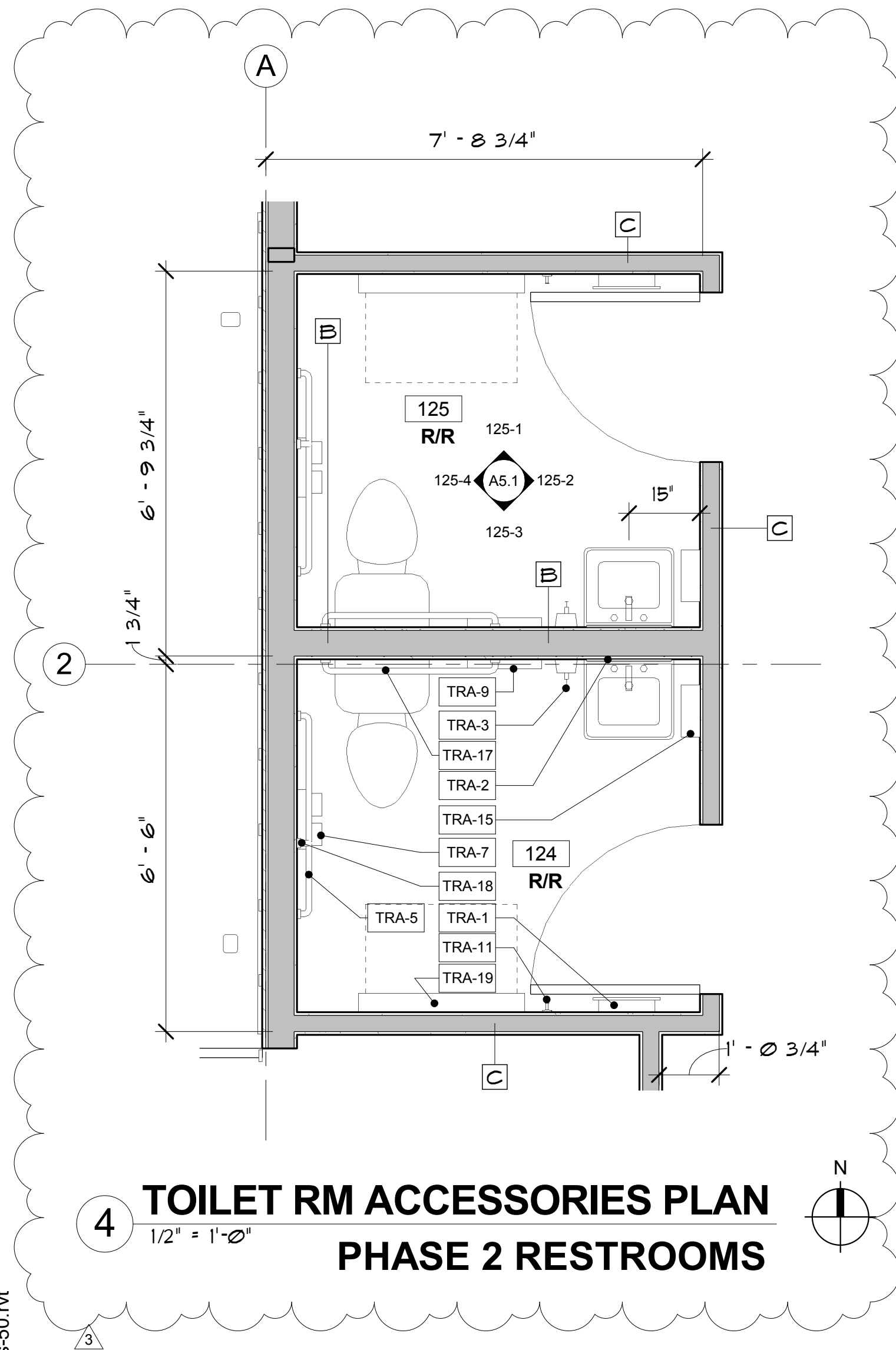
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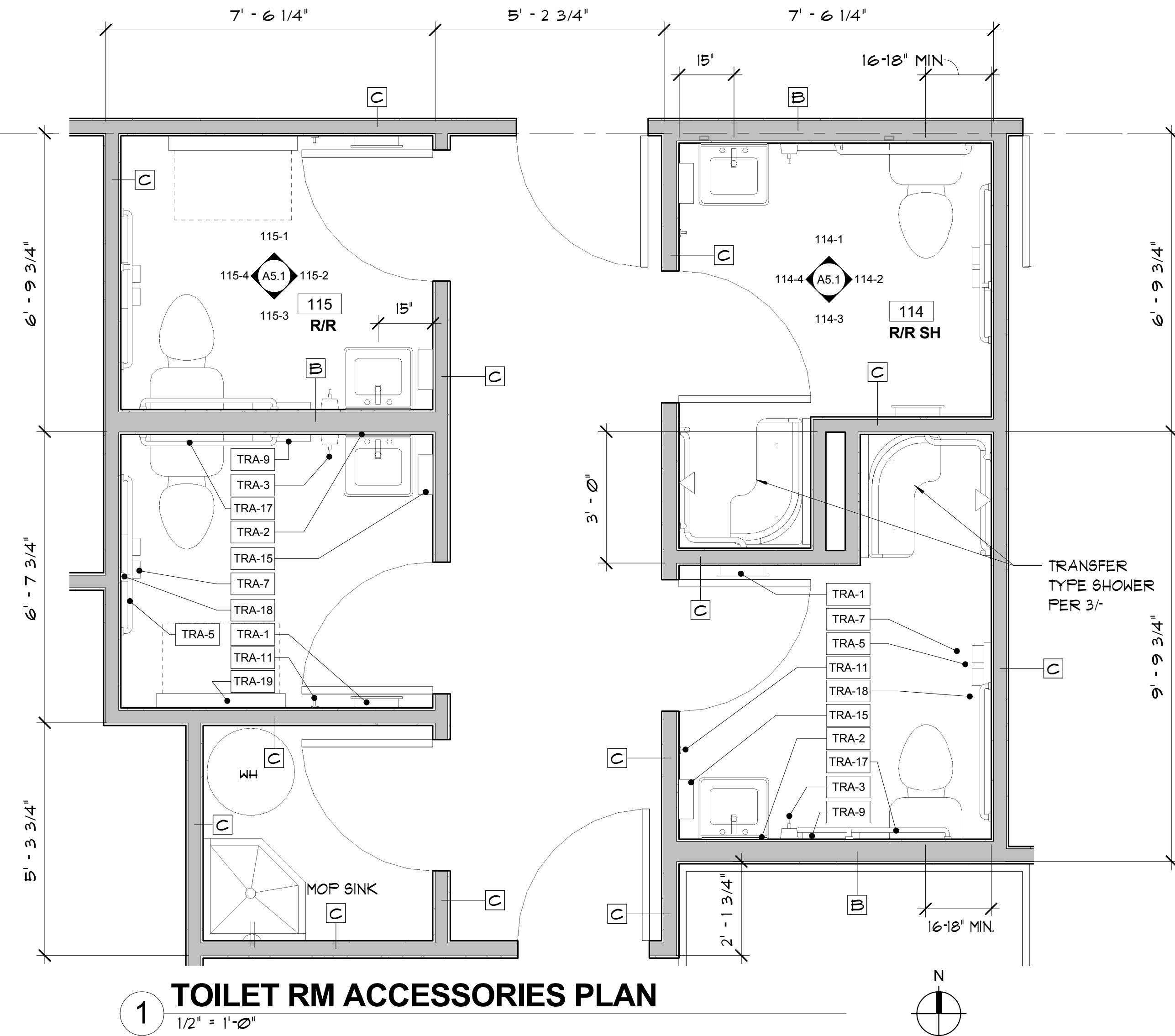
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TOILET RM. ACCESSORIES SCHEDULE		
MARK	ITEM	MODEL (BRADLEY, UNO)
TRA-1	WASTE RECEPTACLE	3157-10
TRA-2	MIRROR	780-1836 (18"x36")
TRA-3	SOAP DISPENSER	6562
TRA-4	STAINLESS STEEL SHELF	NOT USED
TRA-5	GRAB BAR	812 001-42
TRA-6	RECESSED MULTI-ROLL TOILET TISSUE DISPENSER	NOT USED
TRA-7	SURFACE MOUNTED MULTI-ROLL TOILET PAPER DISPENSER	5126
TRA-8	SANITARY NAPKIN DISPOSAL	OFOI
TRA-9	SURFACE TOILET SEAT COVER DISPENSER	5831
TRA-10	FOLD DOWN SHELF	NOT USED
TRA-11	COAT HOOK	9114
TRA-12	ROBE HOOK	NOT USED
TRA-13	SHOWER CURTAIN AND ROD	NOT USED
TRA-14	MOP HOLDER	NOT USED
TRA-15	SURFACE MOUNTED PAPER TOWEL DISPENSER	250-15
TRA-16	COMBINATION TOWEL DISPENSER/ WASTE CONTAINER	NOT USED
TRA-17	GRAB BAR	812 001-36
TRA-18	GRAB BAR	812 001-30
TRA-19	BABY CHANGING TABLE	KB200-05 (KOALA KARE)

NOTE:  
NOT ALL ITEMS ARE USED.  
SEE SPECIFICATION 10 28 00 FOR TOILET ACCESSORIES



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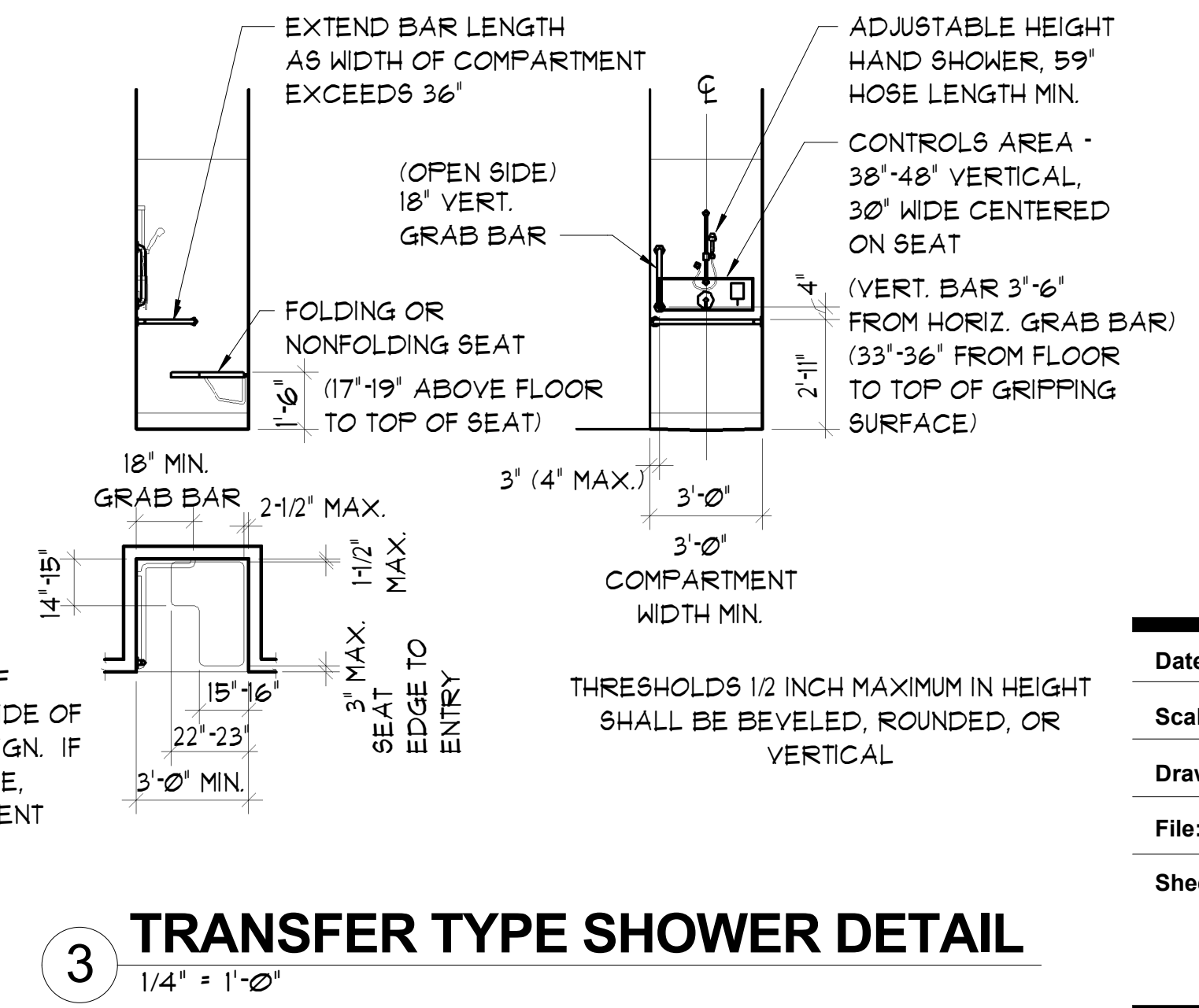
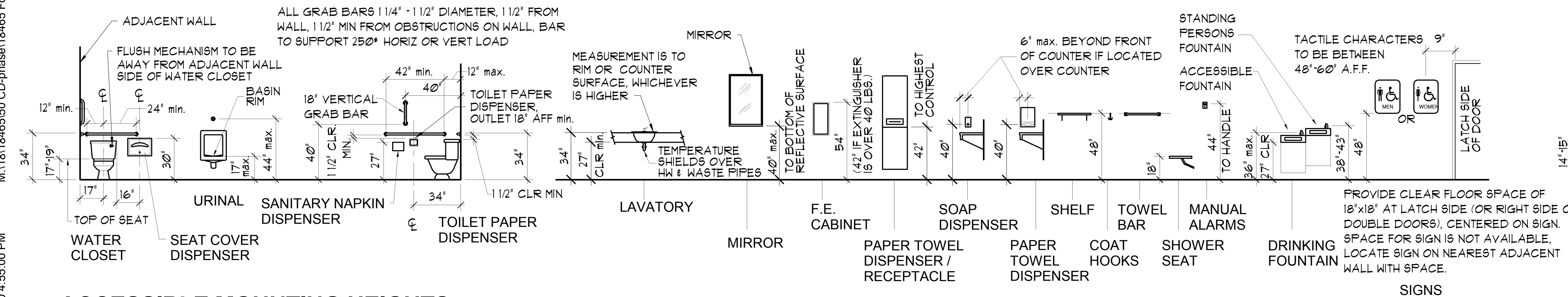
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**2 ACCESSIBLE MOUNTING HEIGHTS**  
1/4" = 1'-0"



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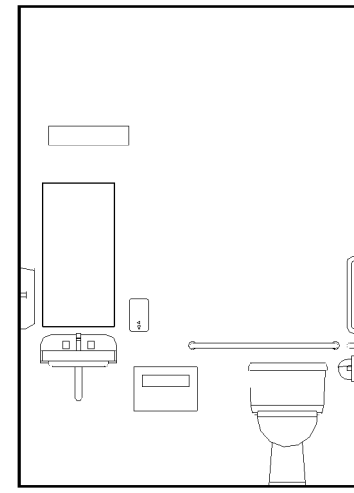
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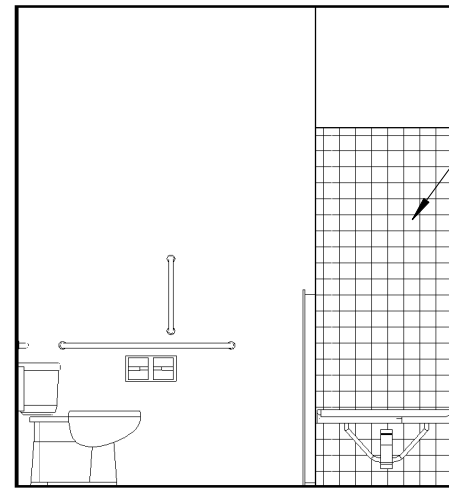
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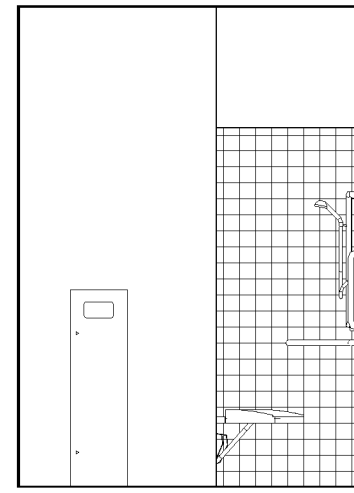


**114-1**  
1/4" = 1'-0"

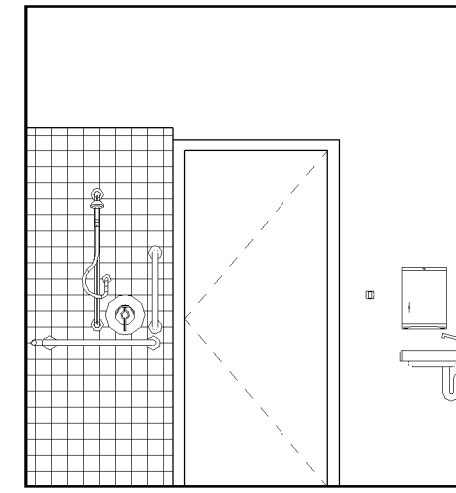


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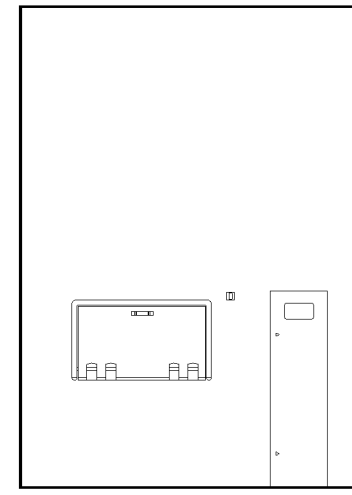
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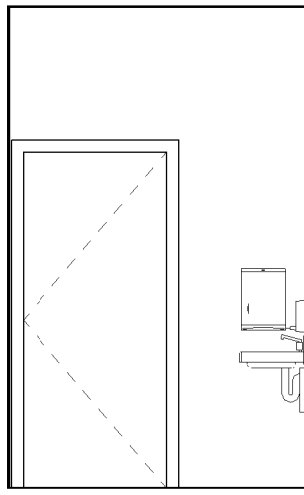
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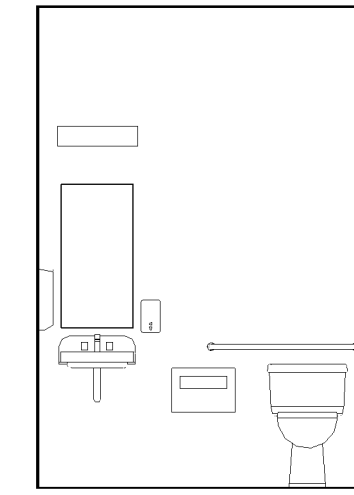
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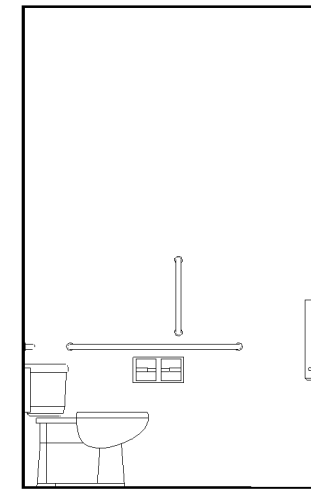
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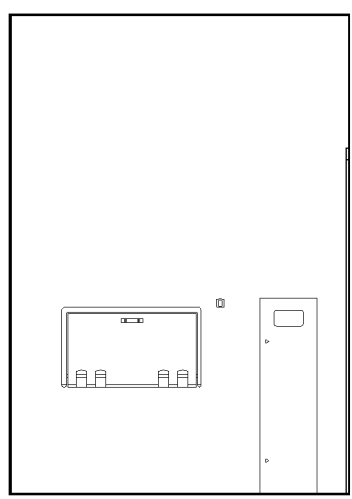
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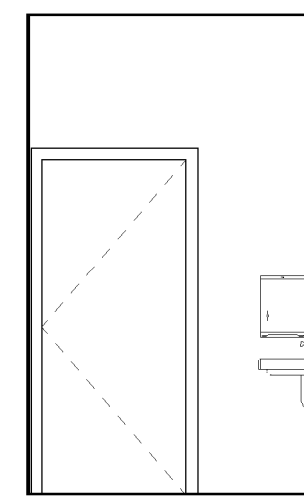
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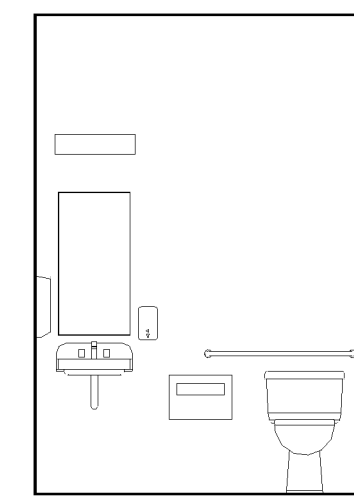
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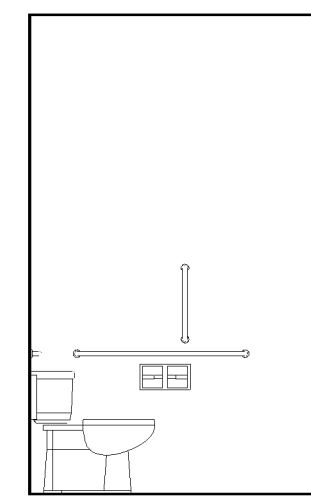
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**125-2**  
1/4" = 1'-0"



**125-3**  
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**125-4**  
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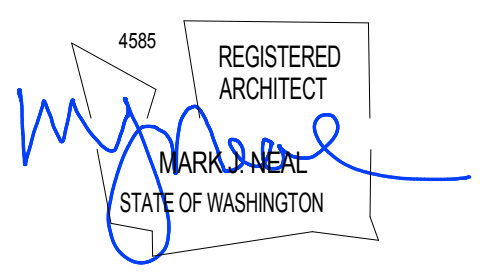
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**NOTES:**  
1). SEE ACCESSIBLE MOUNTING HTS, A4.1

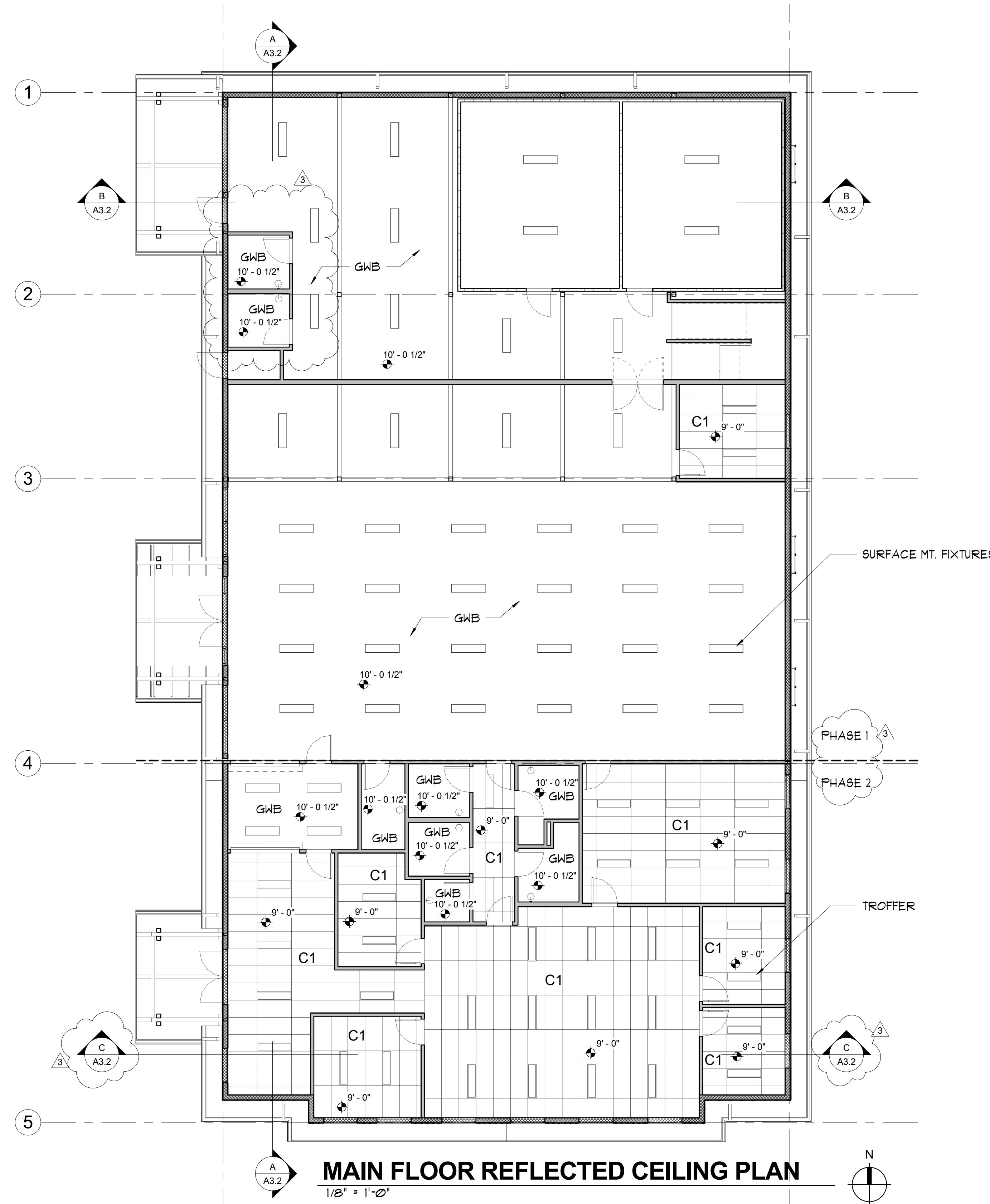
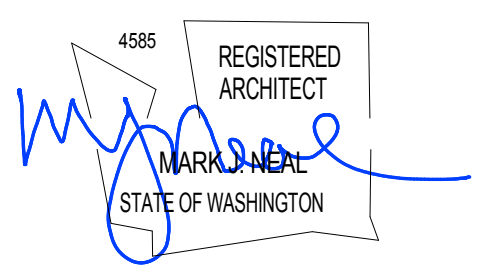
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**MAIN FLOOR REFLECTED CEILING PLAN**  
 1/8" = 1'-0"

**CEILING LEGEND**

SEE ELECTRICAL POWER, LIGHTING AND MECHANICAL PLANS FOR MORE INFORMATION

- SUPPLY AIR
- RETURN AIR
- EXHAUST AIR
- INDICATES EMERGENCY LIGHTING
- INDICATES ARROW DIRECTION
- EXIT SIGN
- INDICATES WALL MOUNT
- BOTTOM SURFACE OF CEILING REFERENCE
- FULL-HEIGHT WALLS (HEAD OF WALL AT BOTTOM OF ROOF DECK)

**CEILING TYPES**

- C1** 2X4 ACOUSTICAL
- C2** 2X2 ACOUSTICAL TEGULAR
- C3** 2X4 VINYL FACED
- C4** 2X4 ACOUSTICAL WITH CLIPS
- C5** 5/8" TYPE X GWB ON SUSP CHANNELS

**CEILING NOTES:**

1). VDS-X REFERS TO VISUAL DISPLAY SURFACE. SEE SPEC SECTION 11 52 13

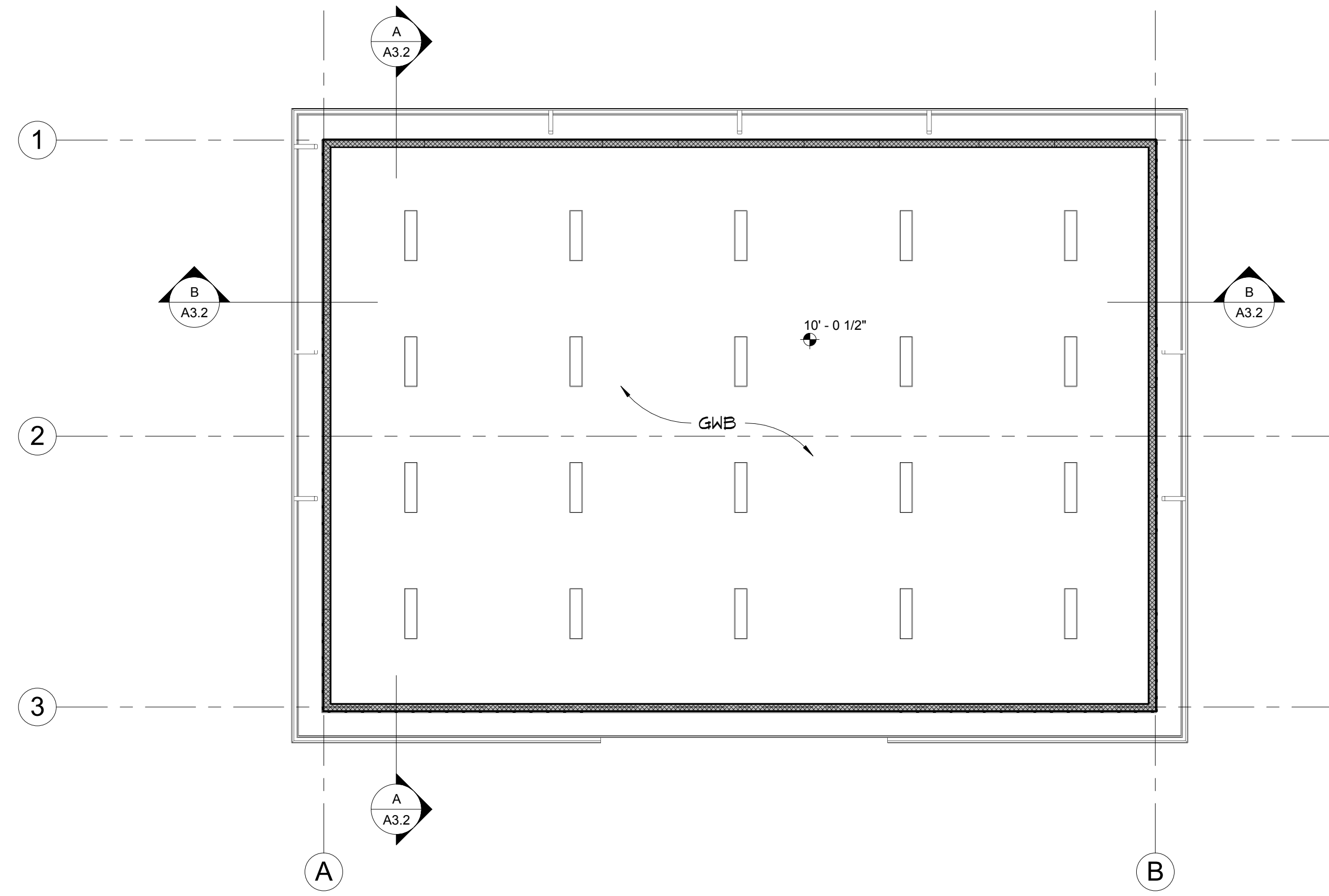
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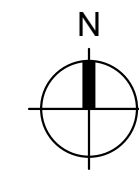
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SECOND FLR REFLECTED CEILING PLAN  
1/8" = 1'-0"



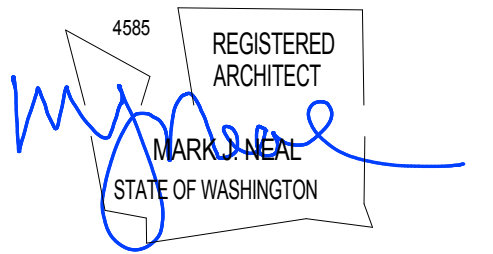
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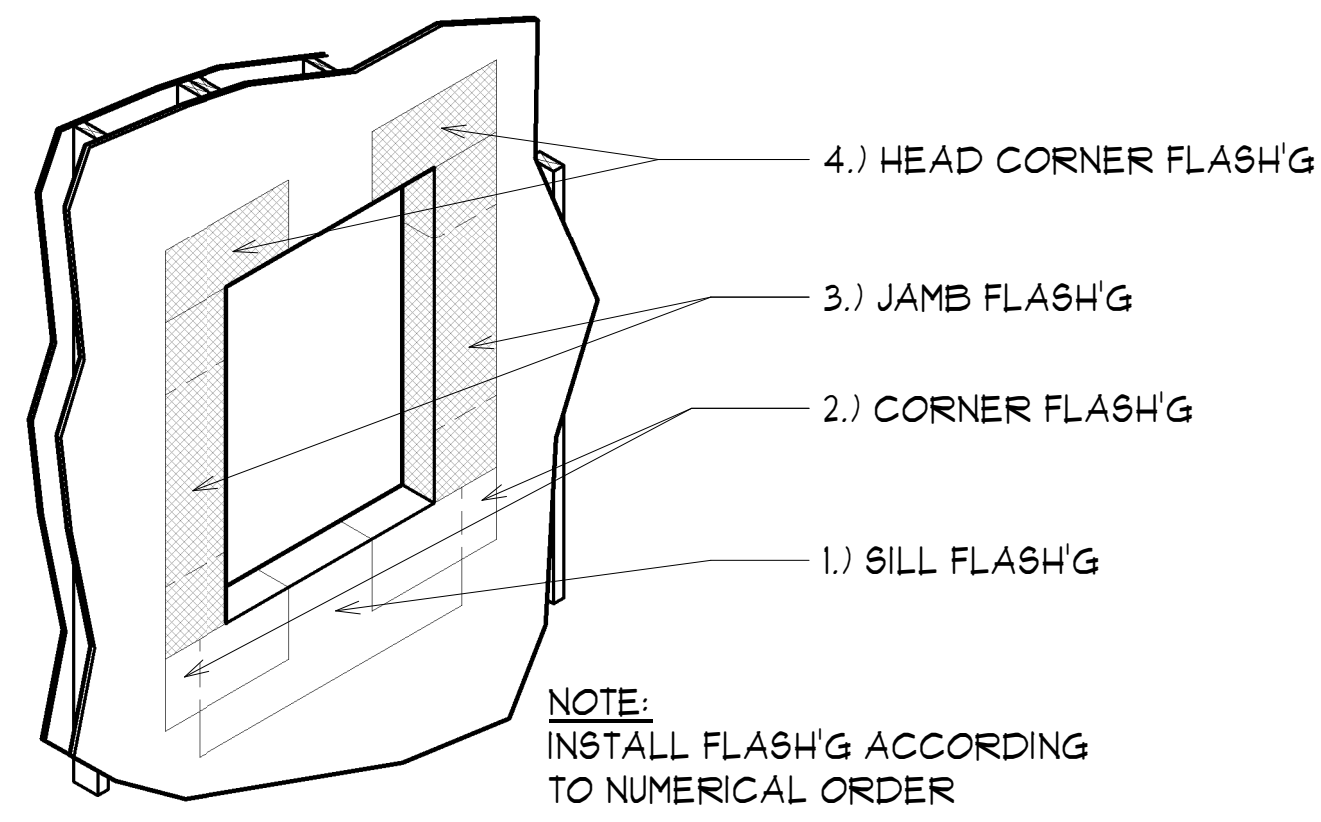


NEW BUILDING FOR:  
**FOOD BANK**  
8021 20TH ST SE, LAKE STEVENS, WA 98258

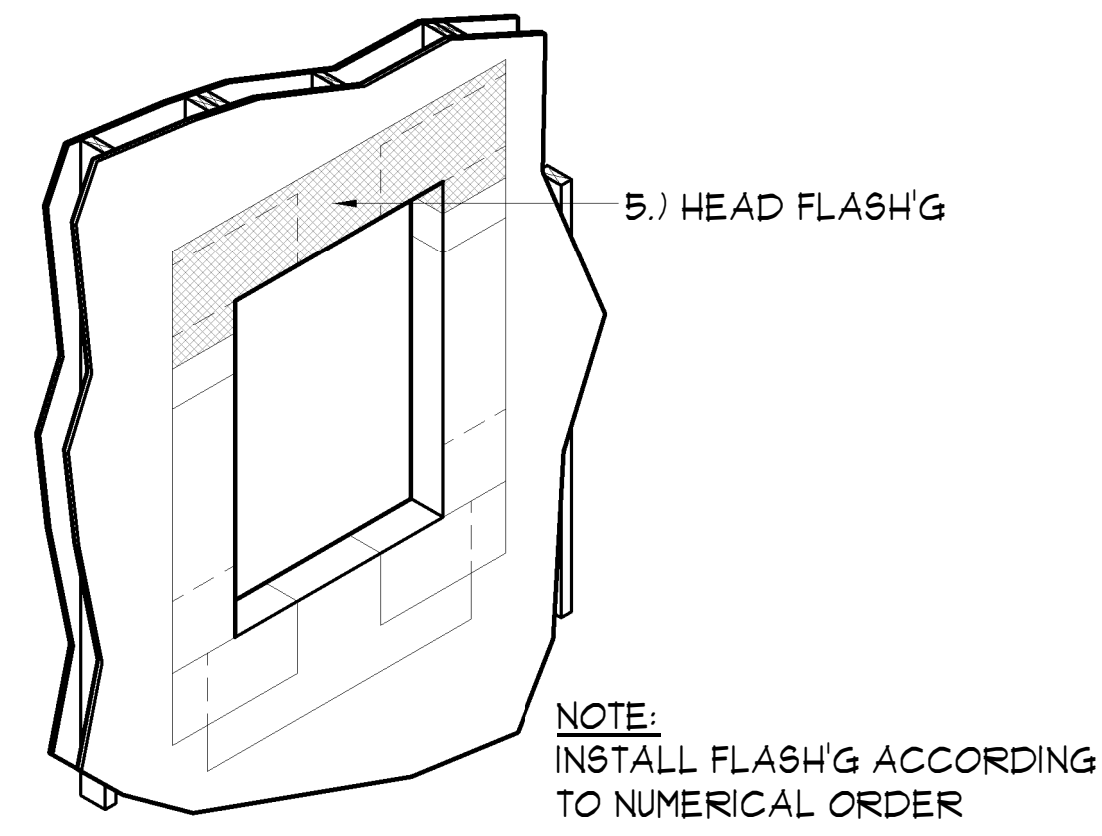
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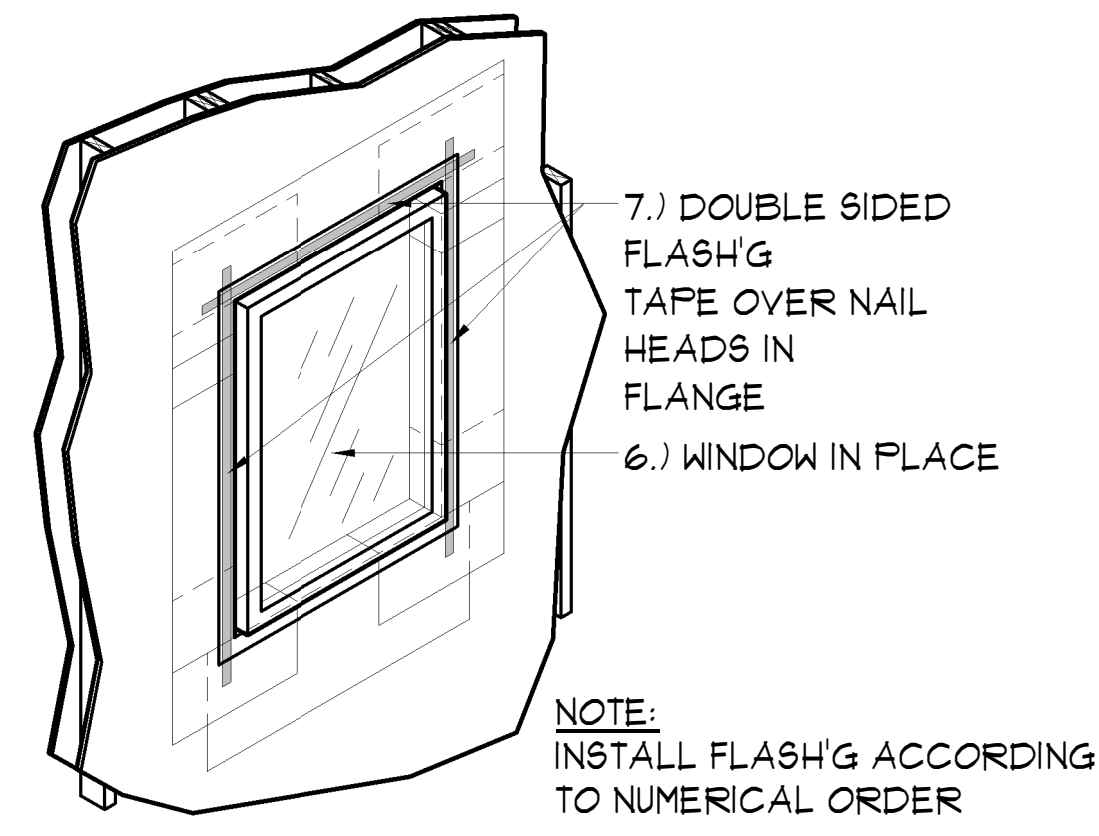
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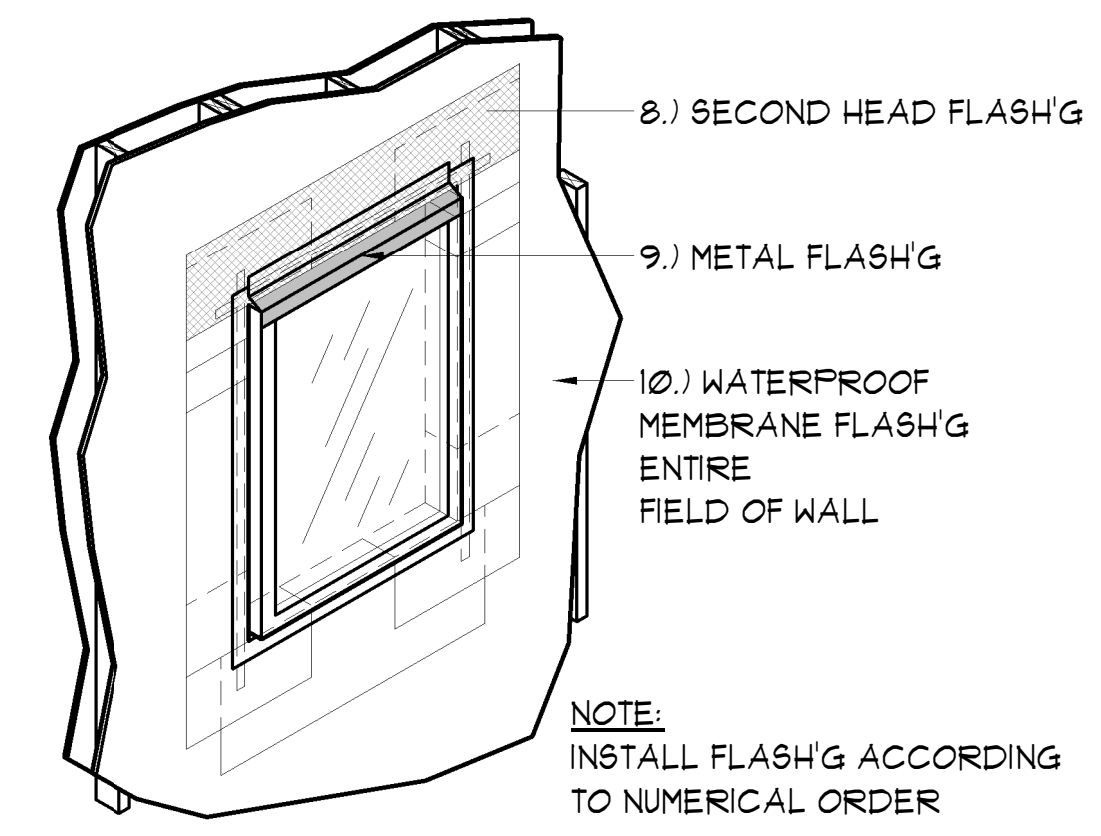
1 JAMB FLASH'G DTL  
1/2" = 1'-0"



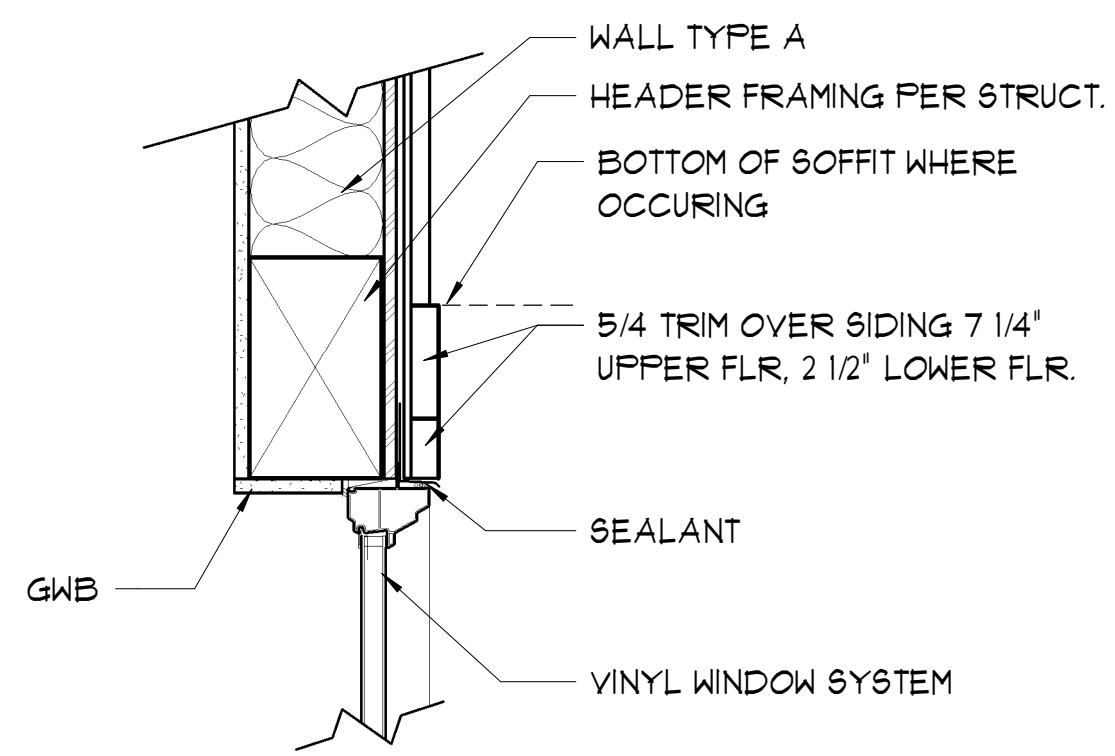
2 HEAD FLASH'G DTL  
1/2" = 1'-0"



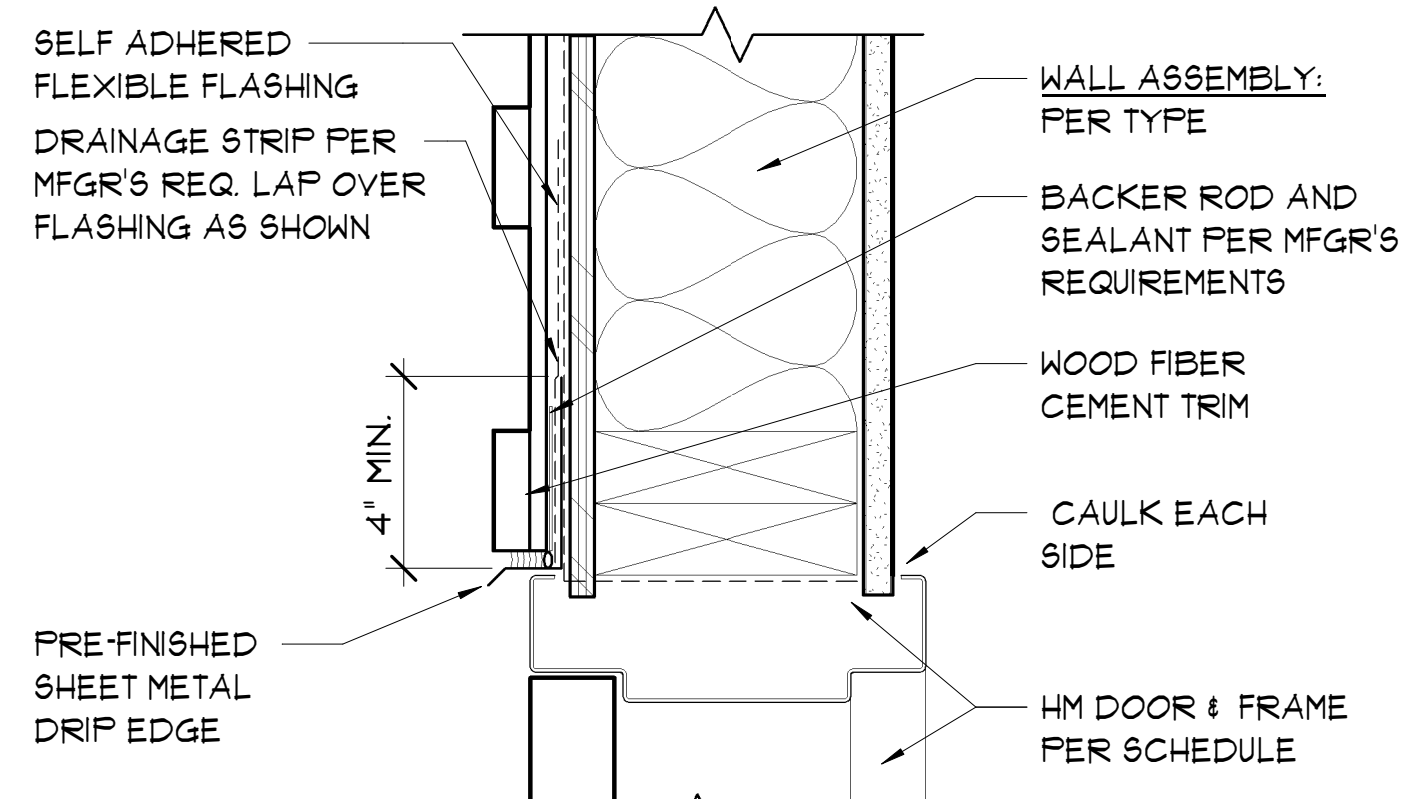
3 WINDOW & WALL PREP DTL  
1/2" = 1'-0"



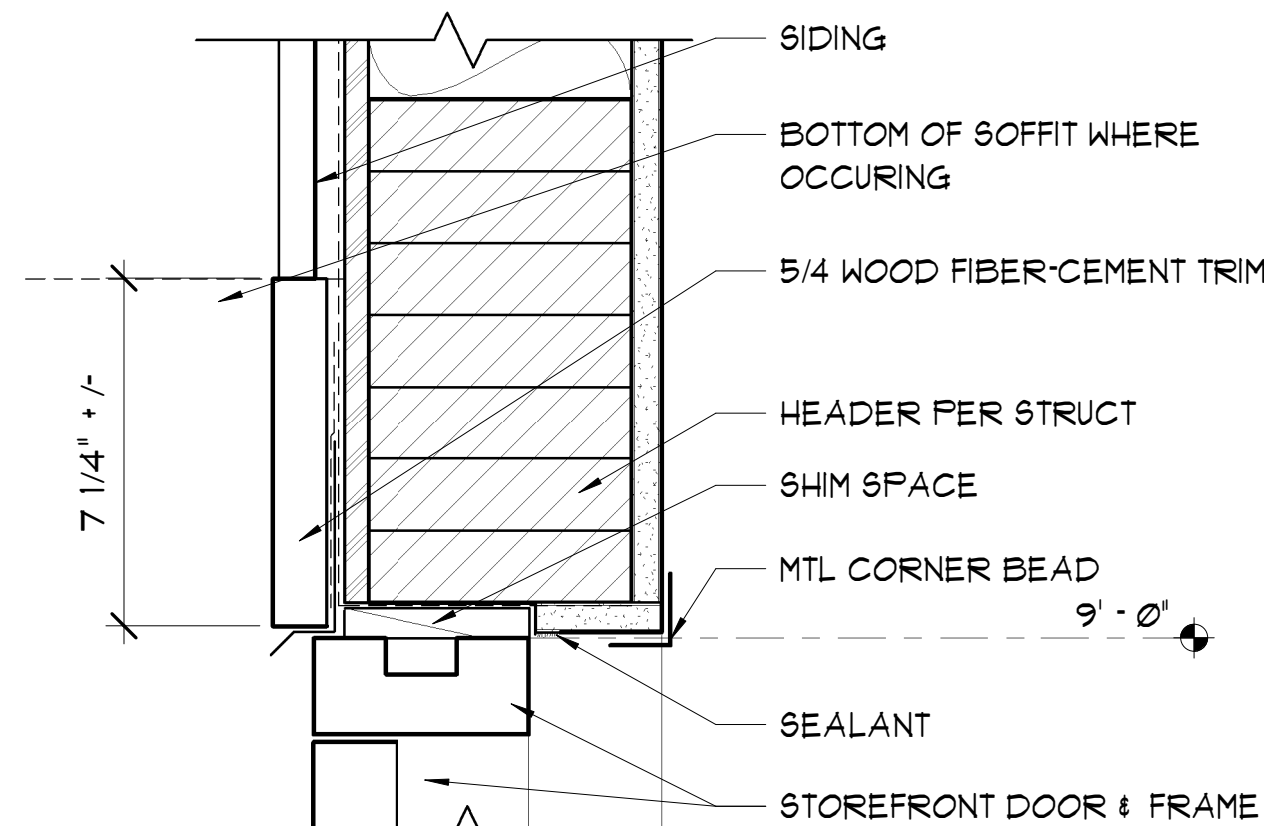
4 FINISH HEAD FLASH'G DTL  
1/2" = 1'-0"



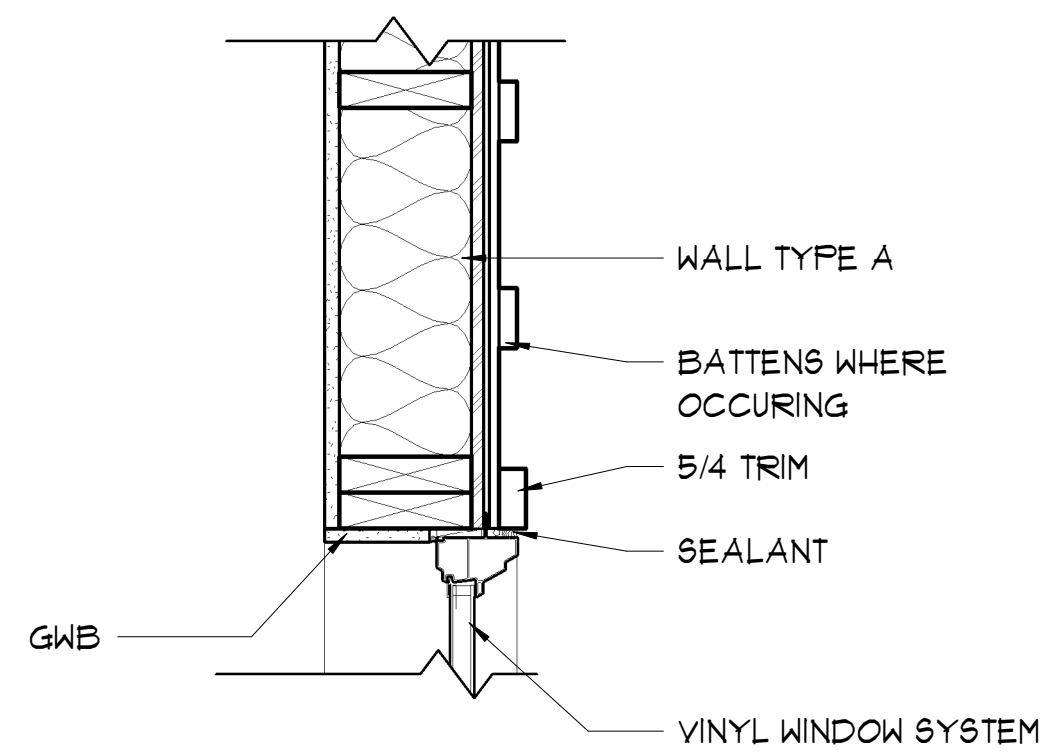
5 VINYL WINDOW HEAD  
1 1/2" = 1'-0"



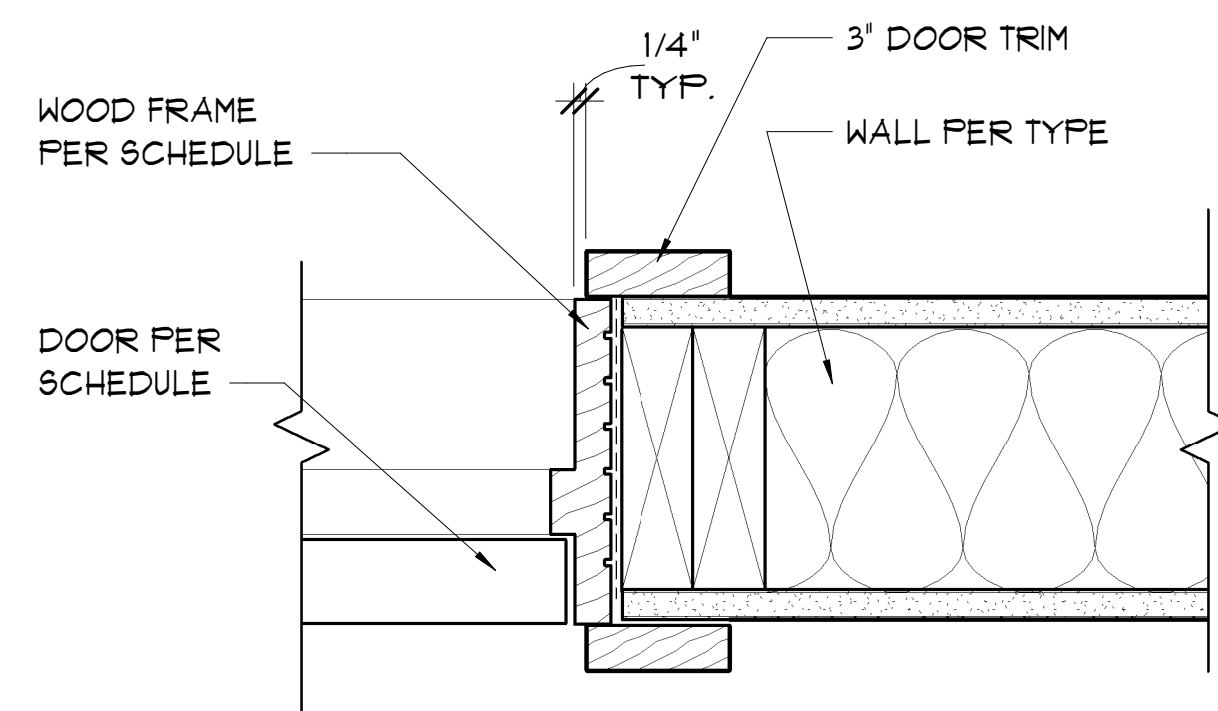
6 TYP. EXT. HM DOOR JAMB (HEAD SIM)  
3" = 1'-0"



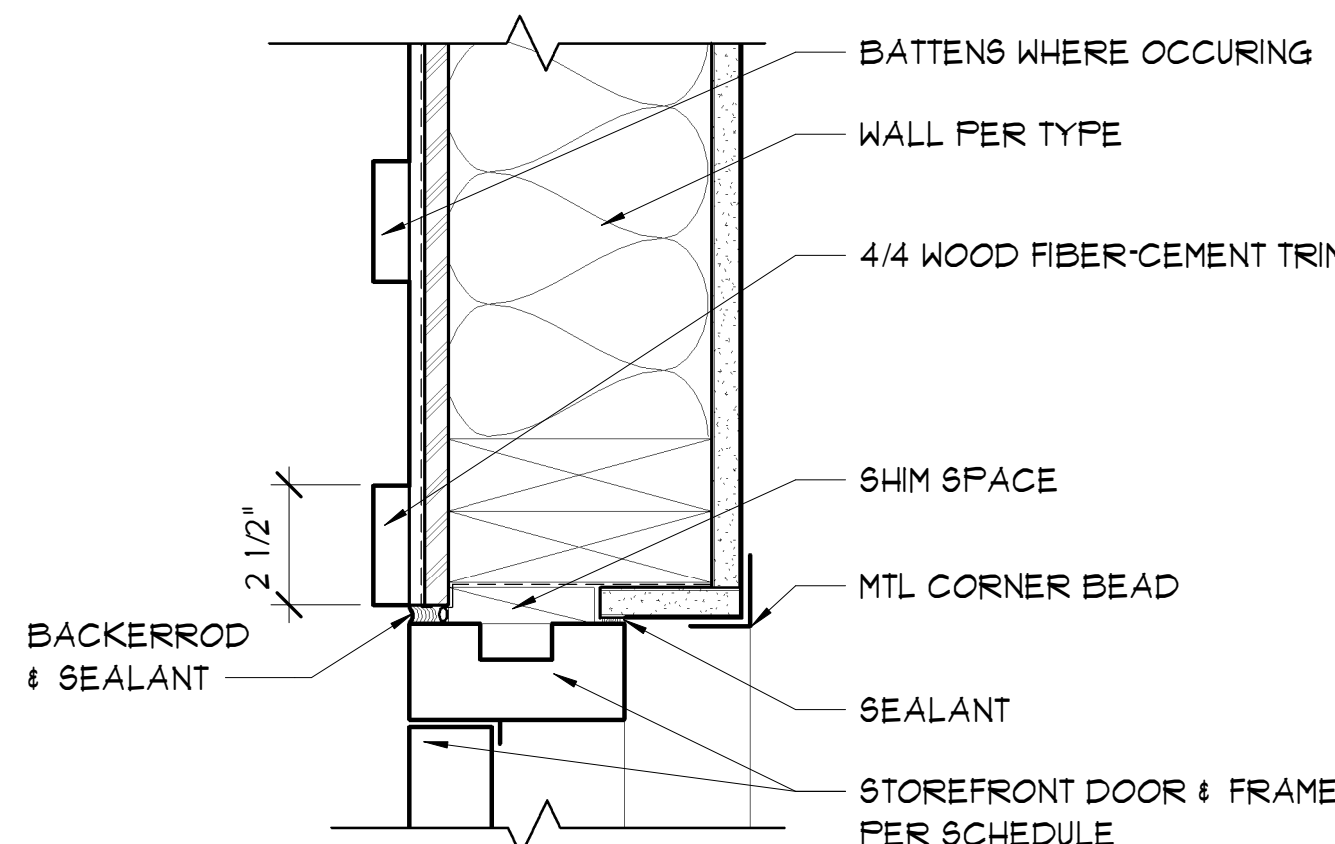
7 STOREFRONT HEAD  
3" = 1'-0"



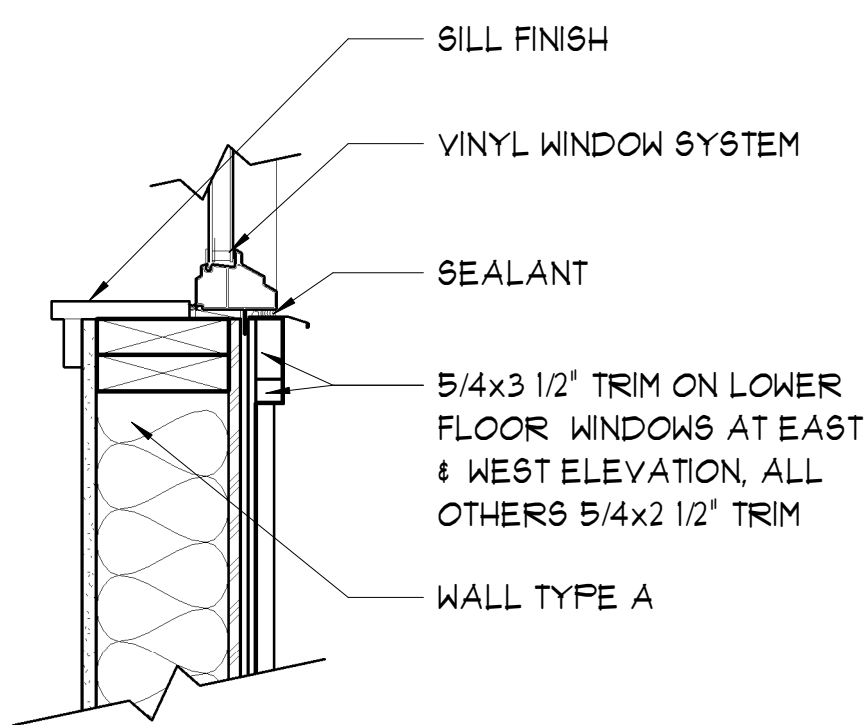
9 VINYL WINDOW JAMB  
1 1/2" = 1'-0"



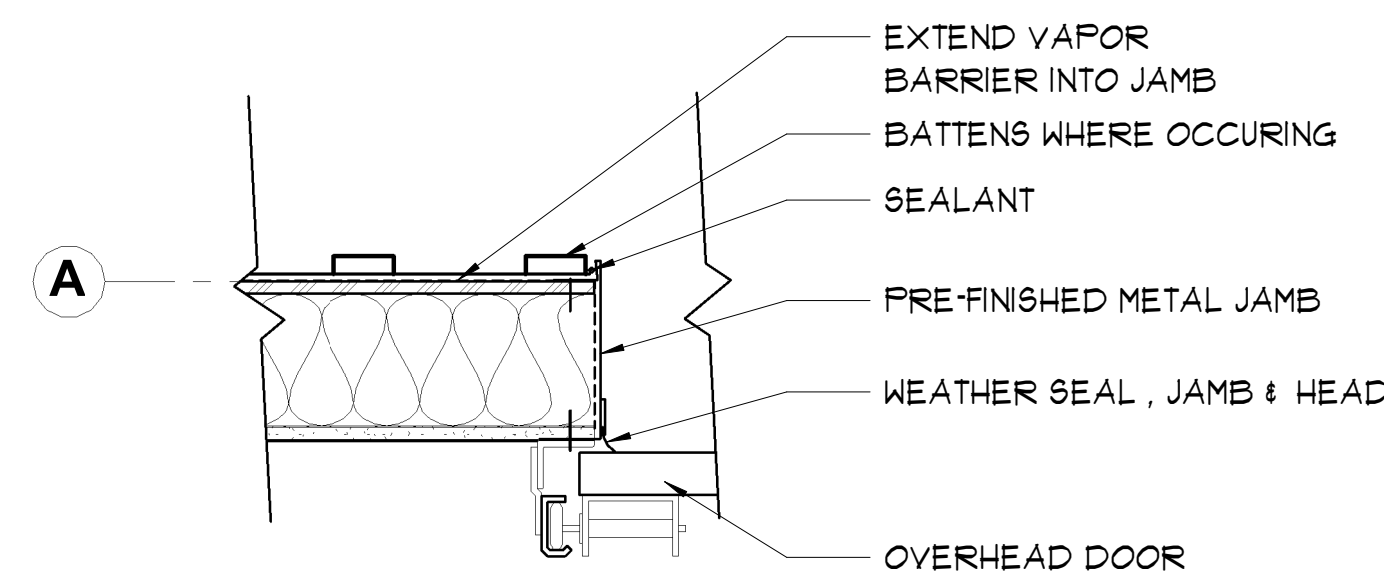
10 TYP. INT. WOOD DOOR JAMB (HEAD SIM)  
3" = 1'-0"



8 STOREFRONT JAMB  
3" = 1'-0"



11 VINYL WINDOW SILL  
1 1/2" = 1'-0"



15 JAMB AT OVERHEAD DOOR  
1 1/2" = 1'-0"

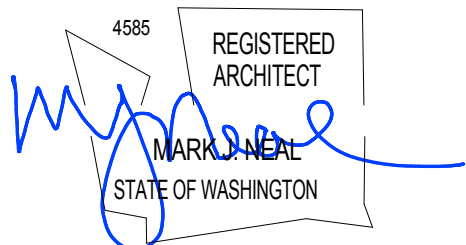
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CITY OF LAKE STEVENS  
BUILDING DEPARTMENT  
**APPROVED**  
SIGNED: *[Signature]* DATE: \_\_\_\_\_  
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NEW BUILDING FOR:  
**FOOD BANK**  
8021 20TH ST SE, LAKE STEVENS, WA 98258

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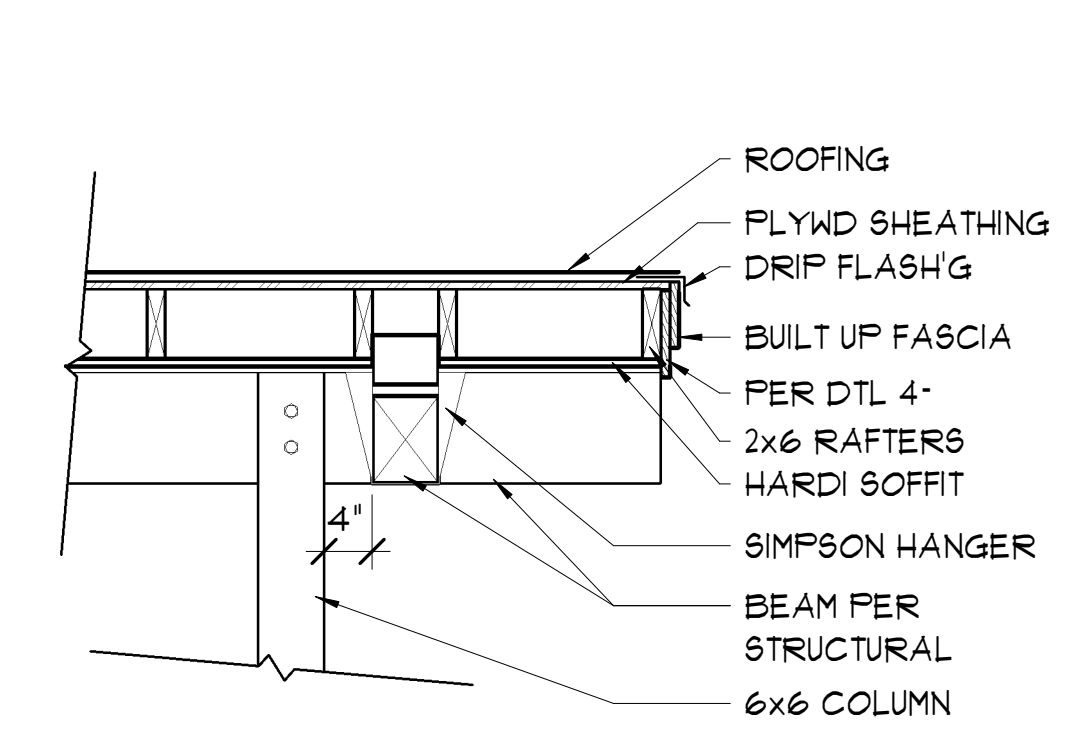
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ASSOCIATES  
ARCHITECTS, PLLC

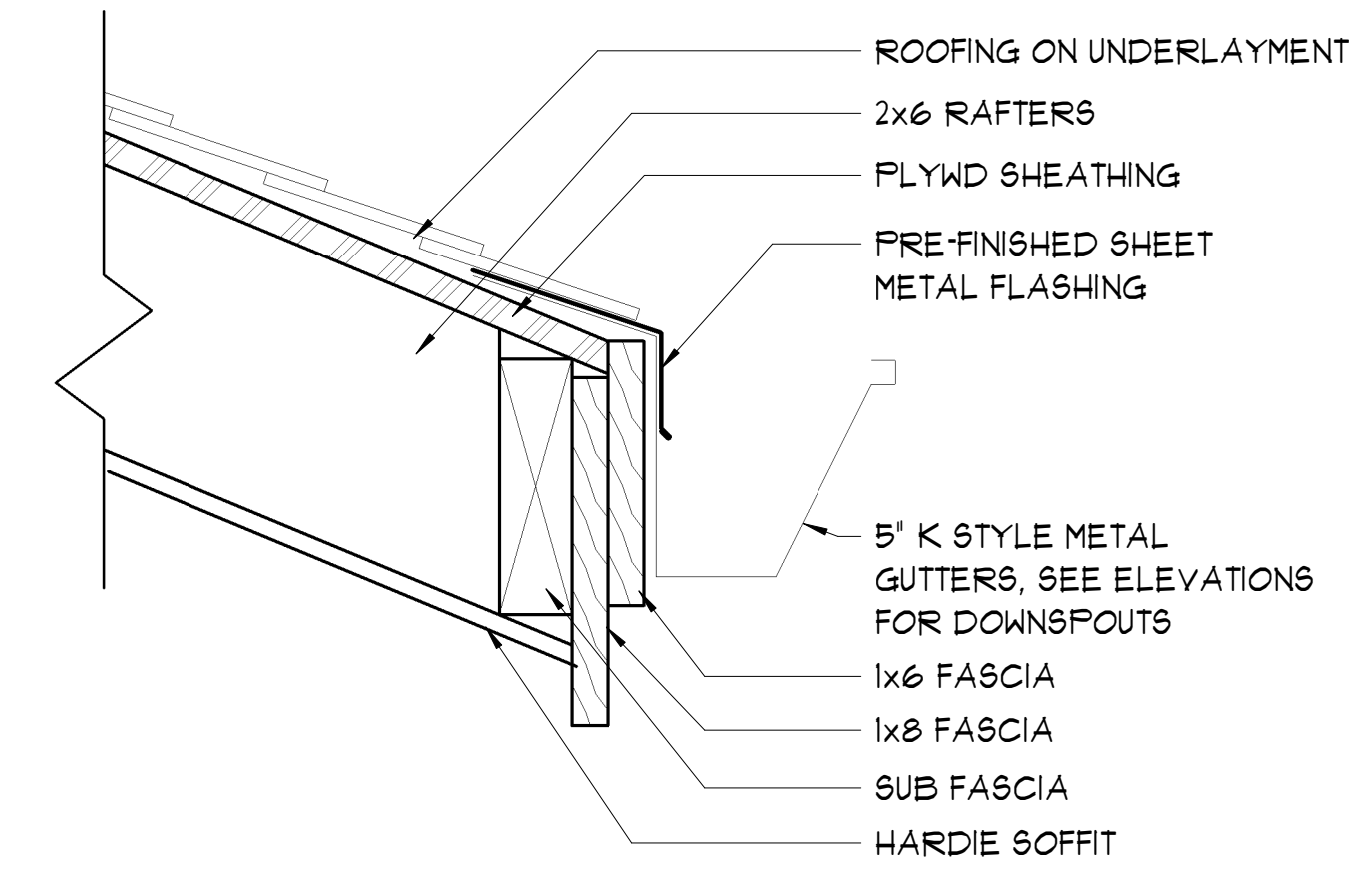
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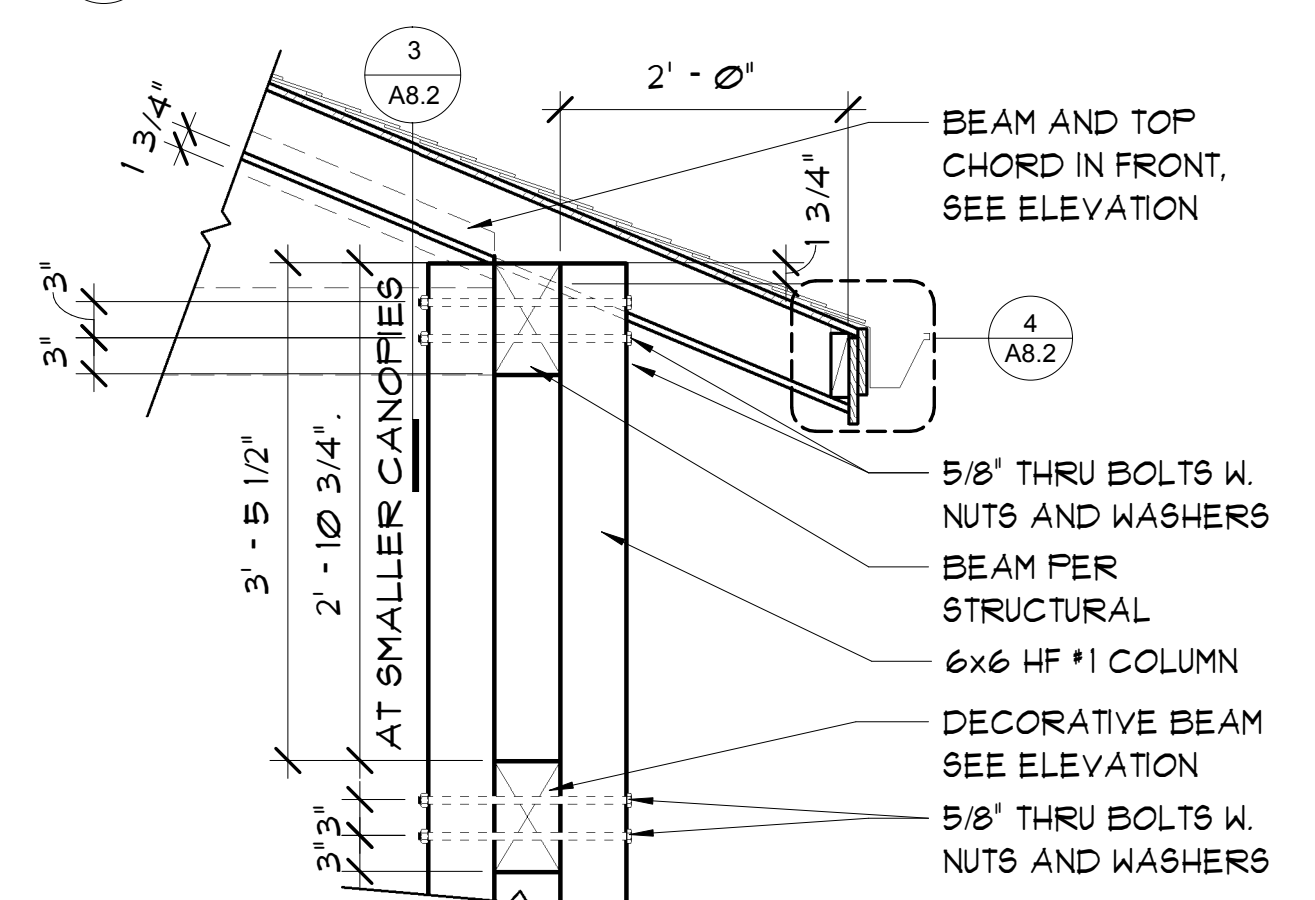
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*[Signature]*  
MARK NEAL  
STATE OF WASHINGTON



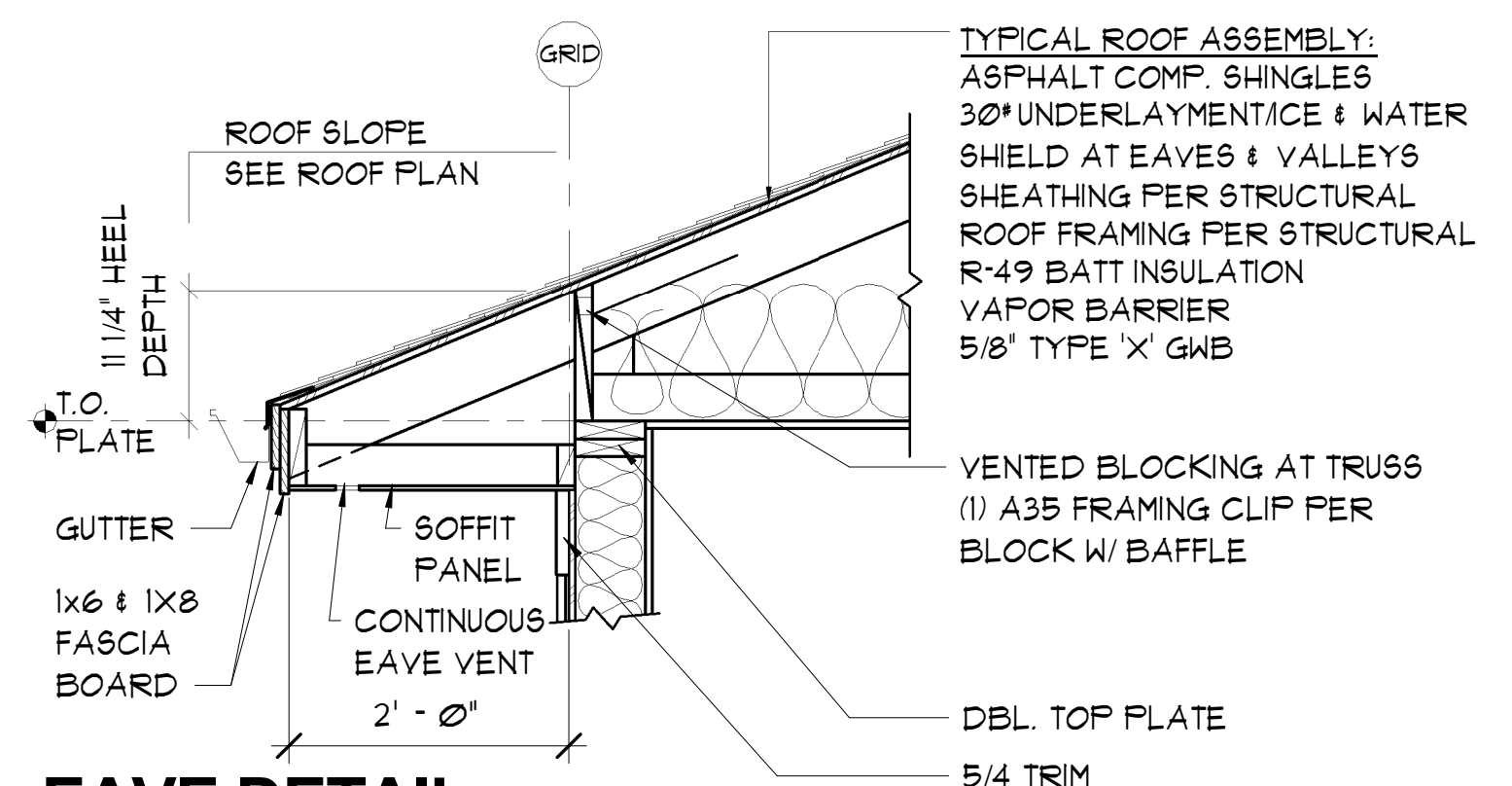
**3 RAKE AT BEAM**  
3/4" = 1'-0"



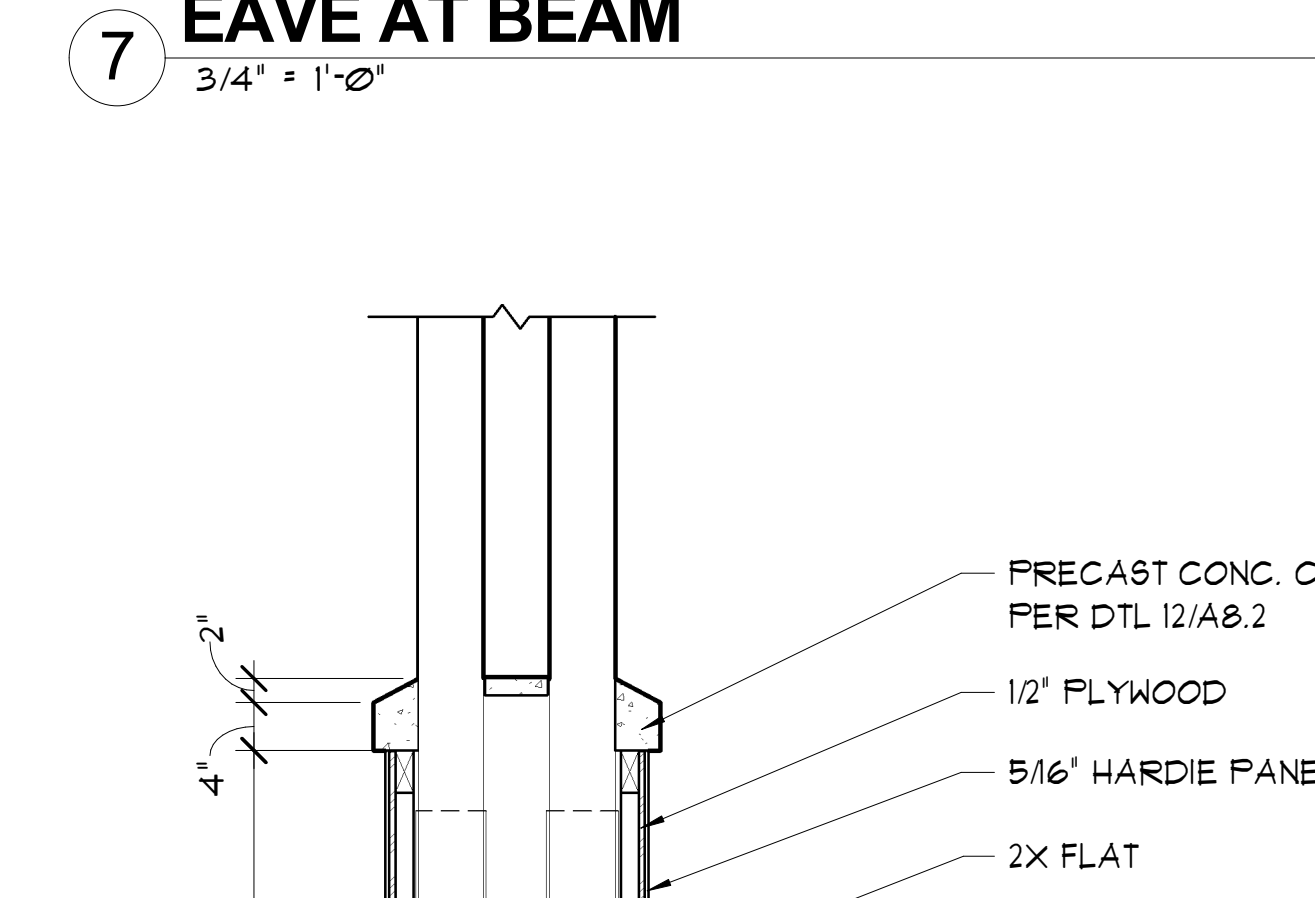
**4 FASCIA @ CANOPIES**  
3/4" = 1'-0"



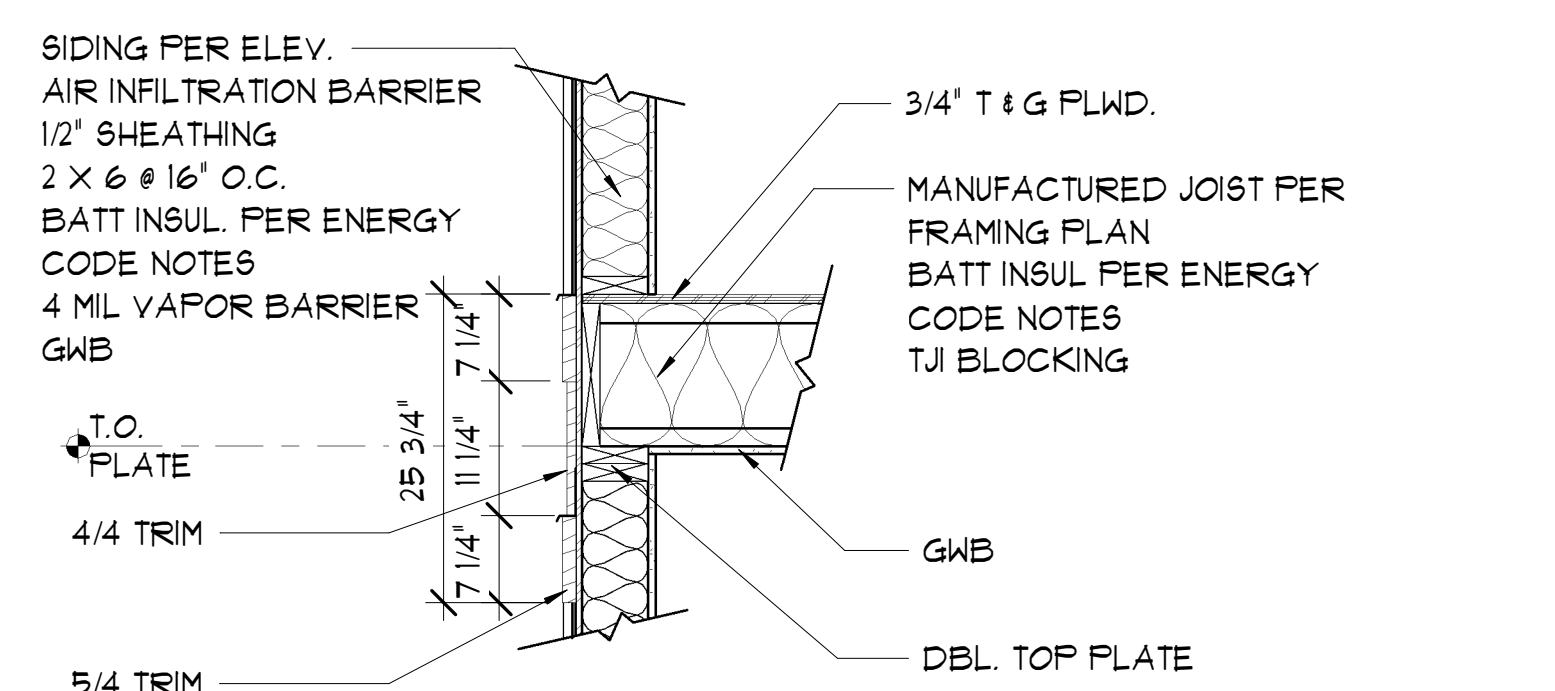
**7 EAVE AT BEAM**  
3/4" = 1'-0"



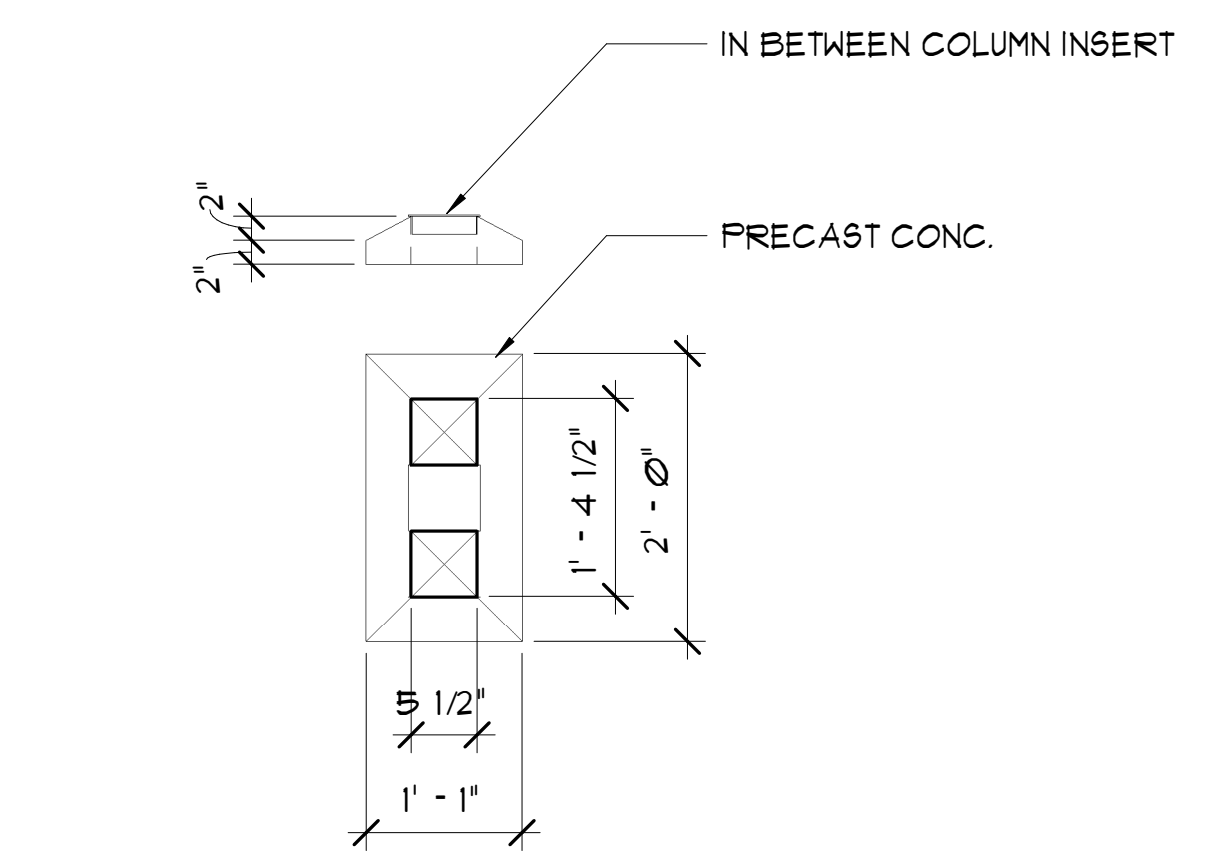
**5 EAVE DETAIL**  
3/4" = 1'-0"



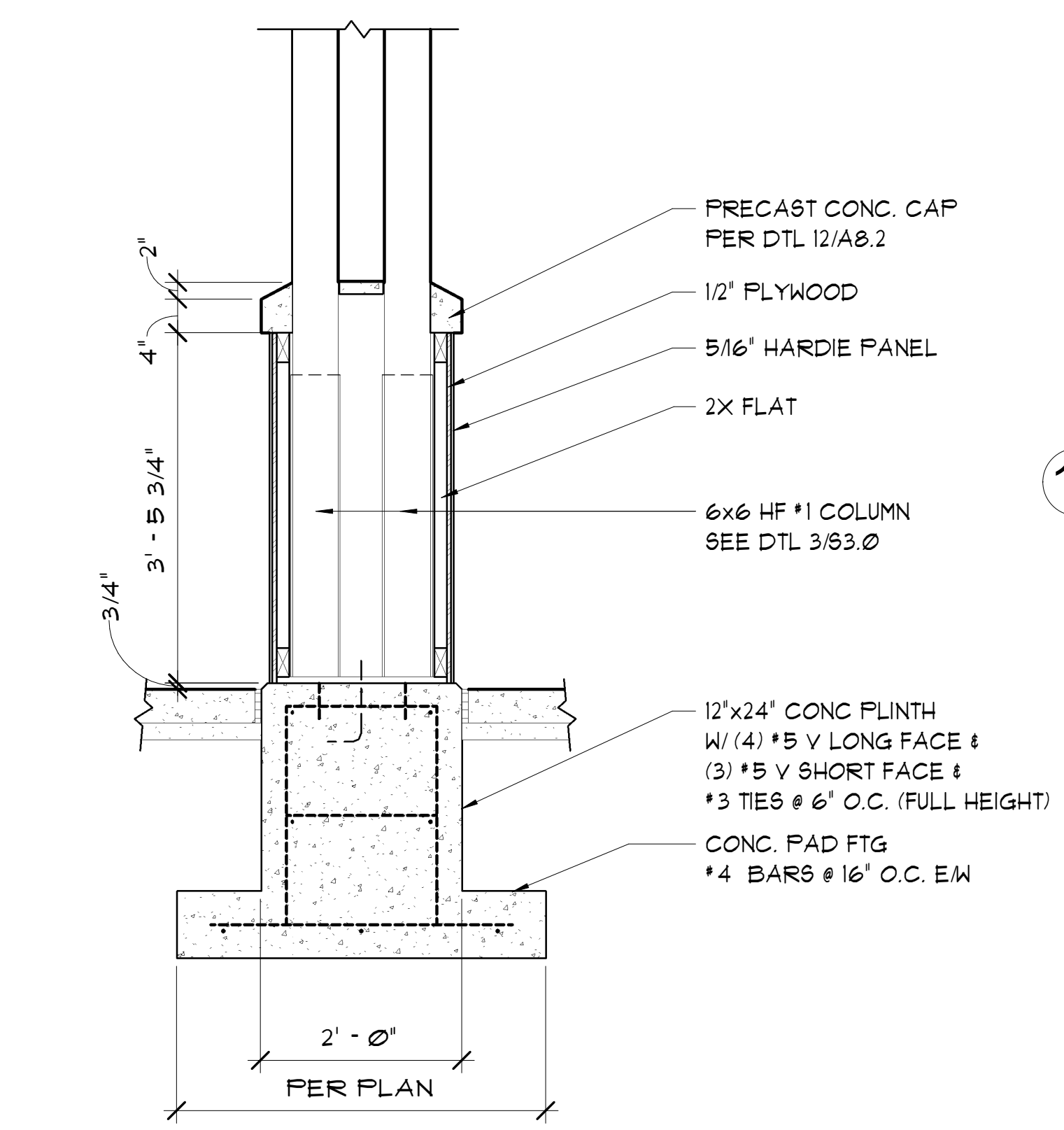
**10 COOLER TO FRIZ SLAB JOINT**  
3/4" = 1'-0"



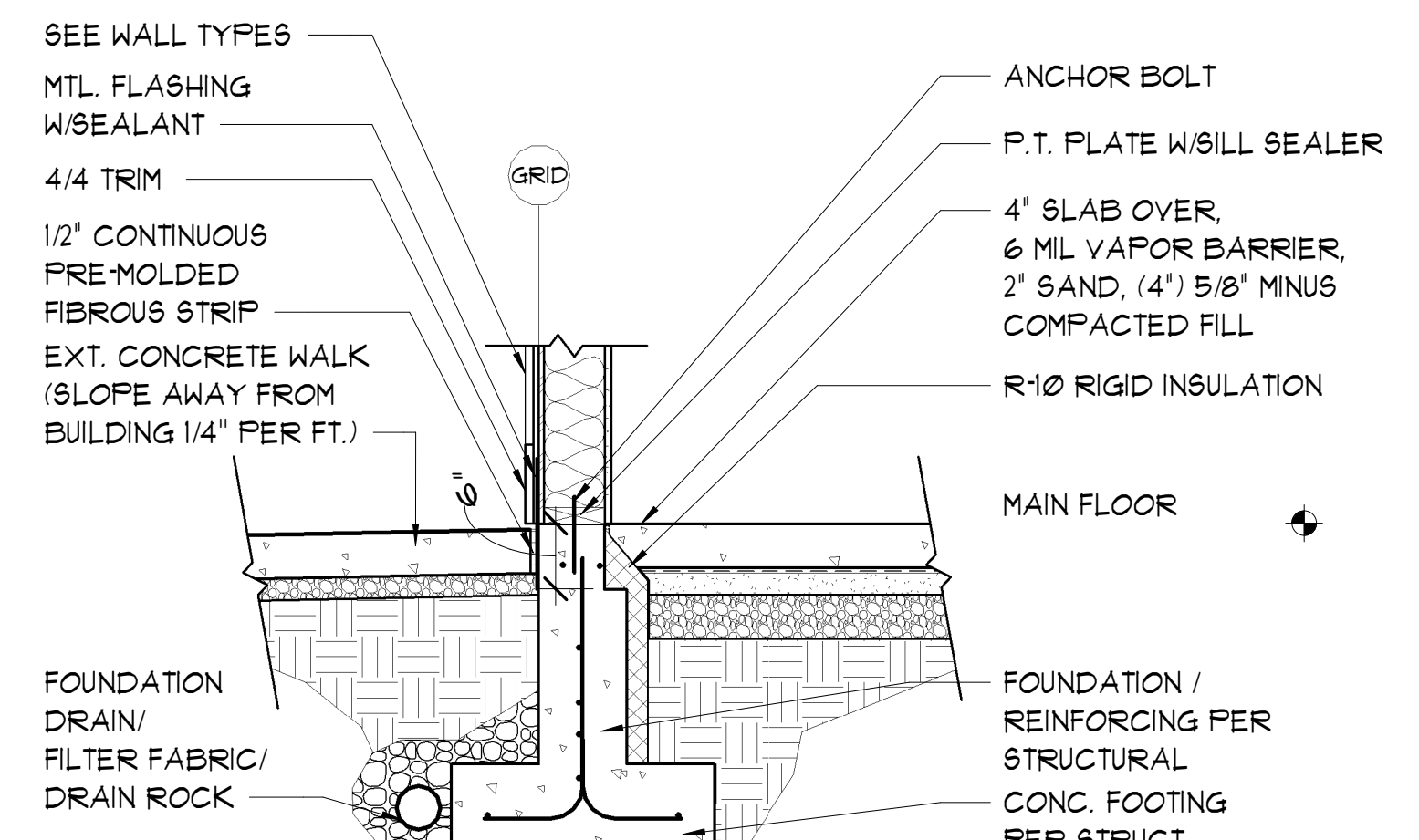
**9 TYPICAL FLOOR / WALL CONNECTION**  
3/4" = 1'-0"



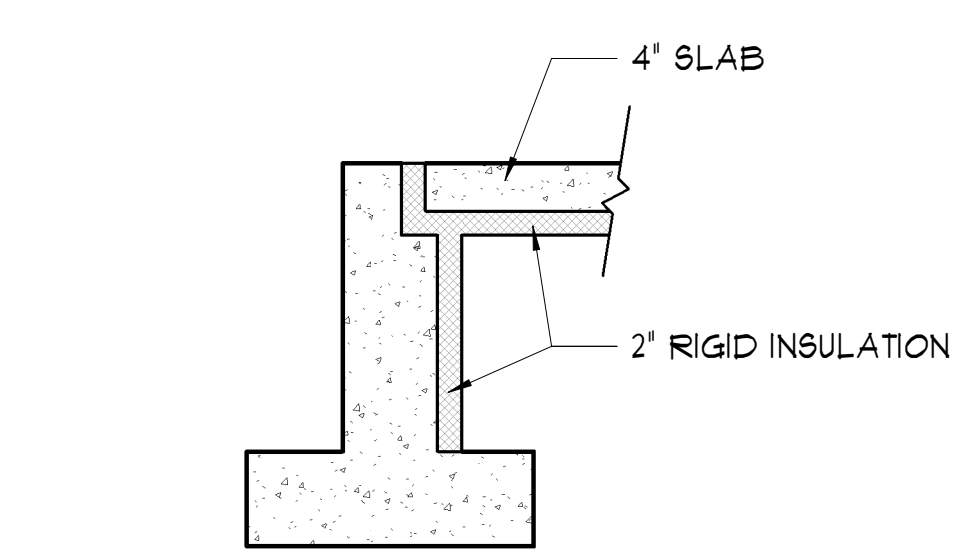
**12 COLUMN BASE CAP**  
3/4" = 1'-0"



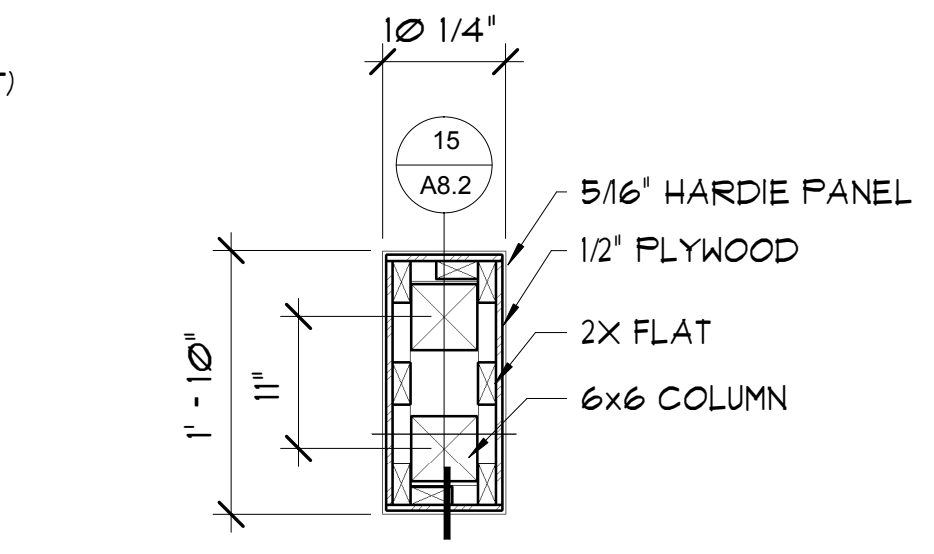
**15 ENTRY COL. SECTION**  
3/4" = 1'-0"



**13 FOUNDATION @ EXTERIOR WALL**  
3/4" = 1'-0"



**14 COOLER/FRZR SLAB EDGE**  
3/4" = 1'-0"



**16 COLUMN BASE**  
3/4" = 1'-0"

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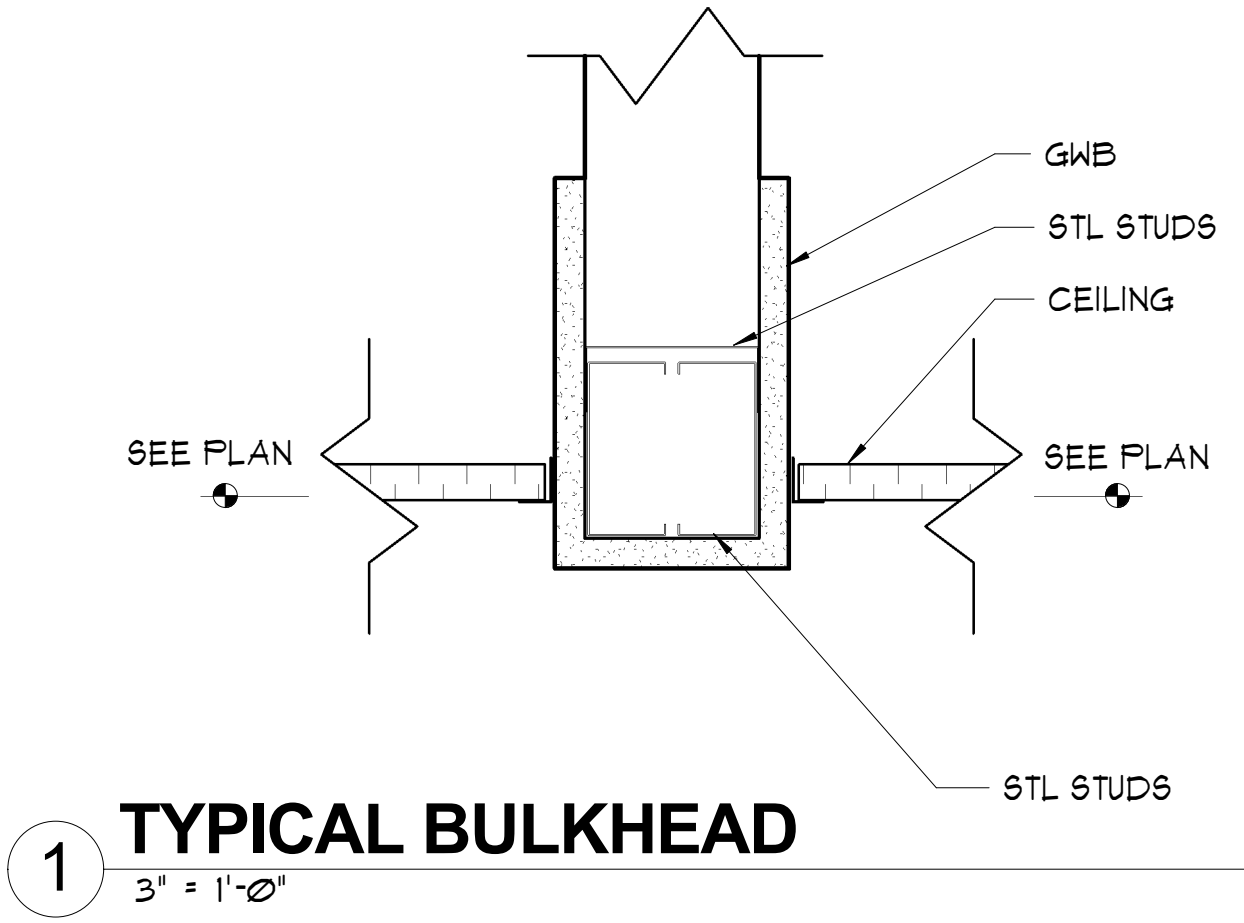
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BUILDING DEPARTMENT  
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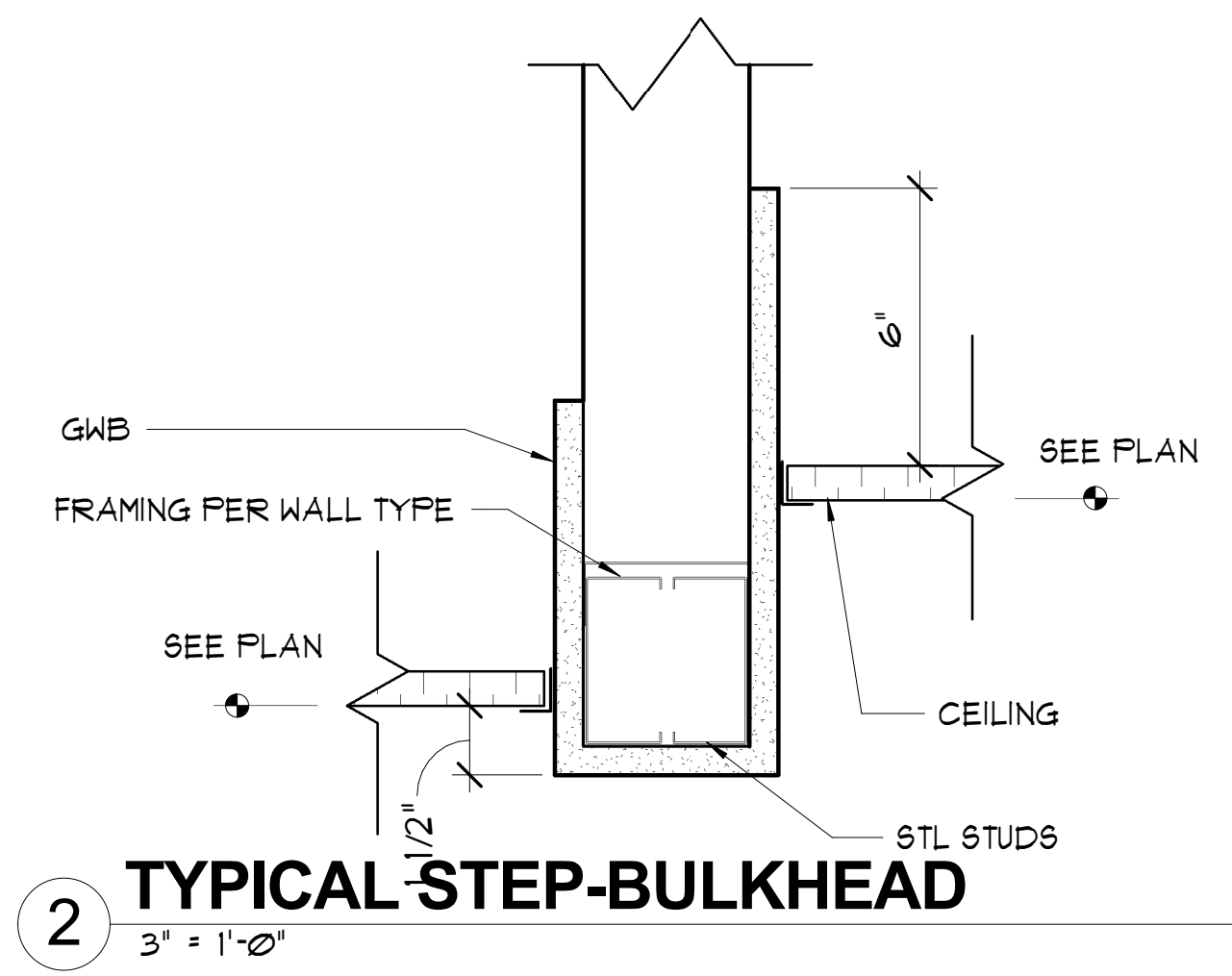
**MJNEAL**  
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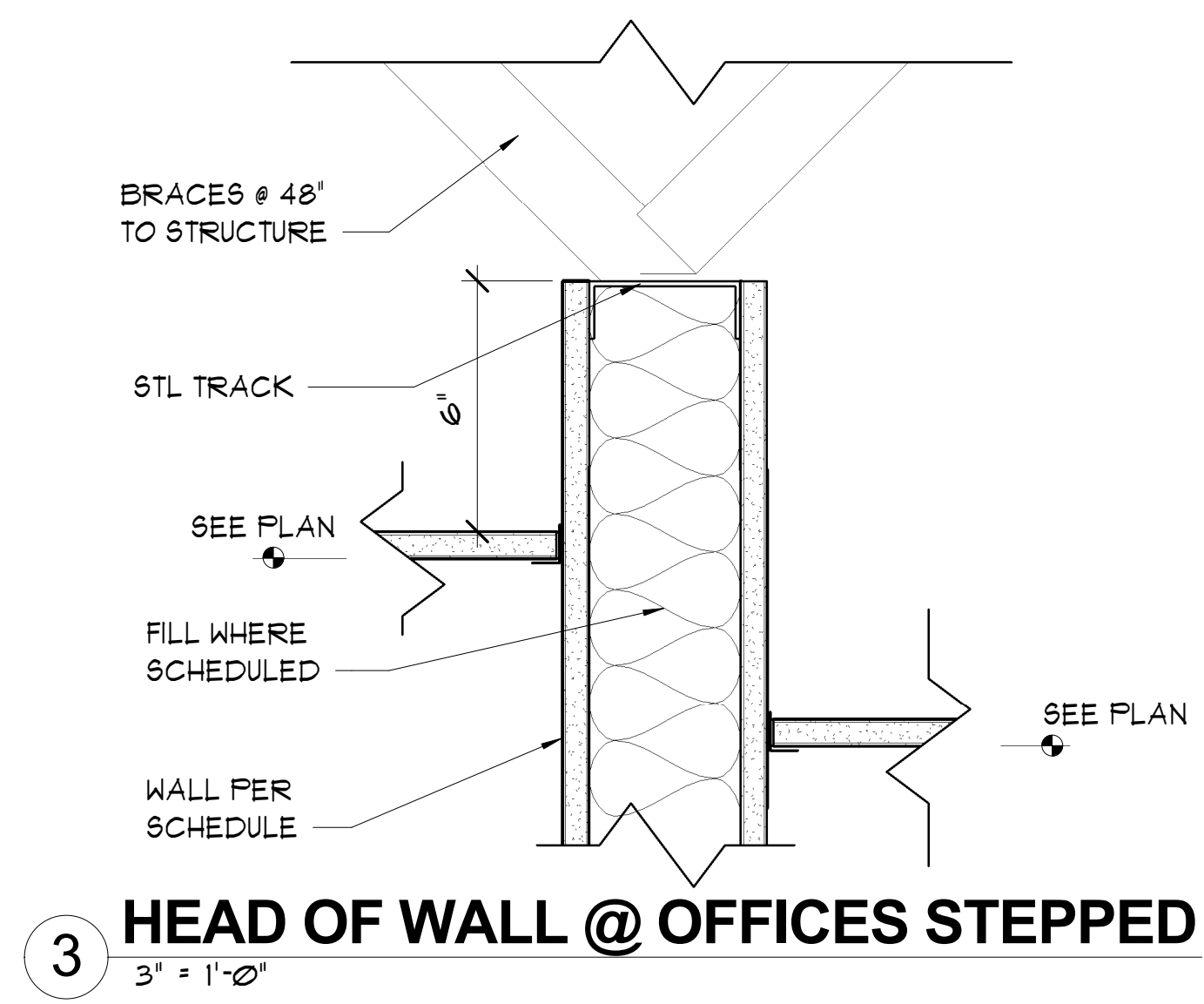
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STATE OF WASHINGTON



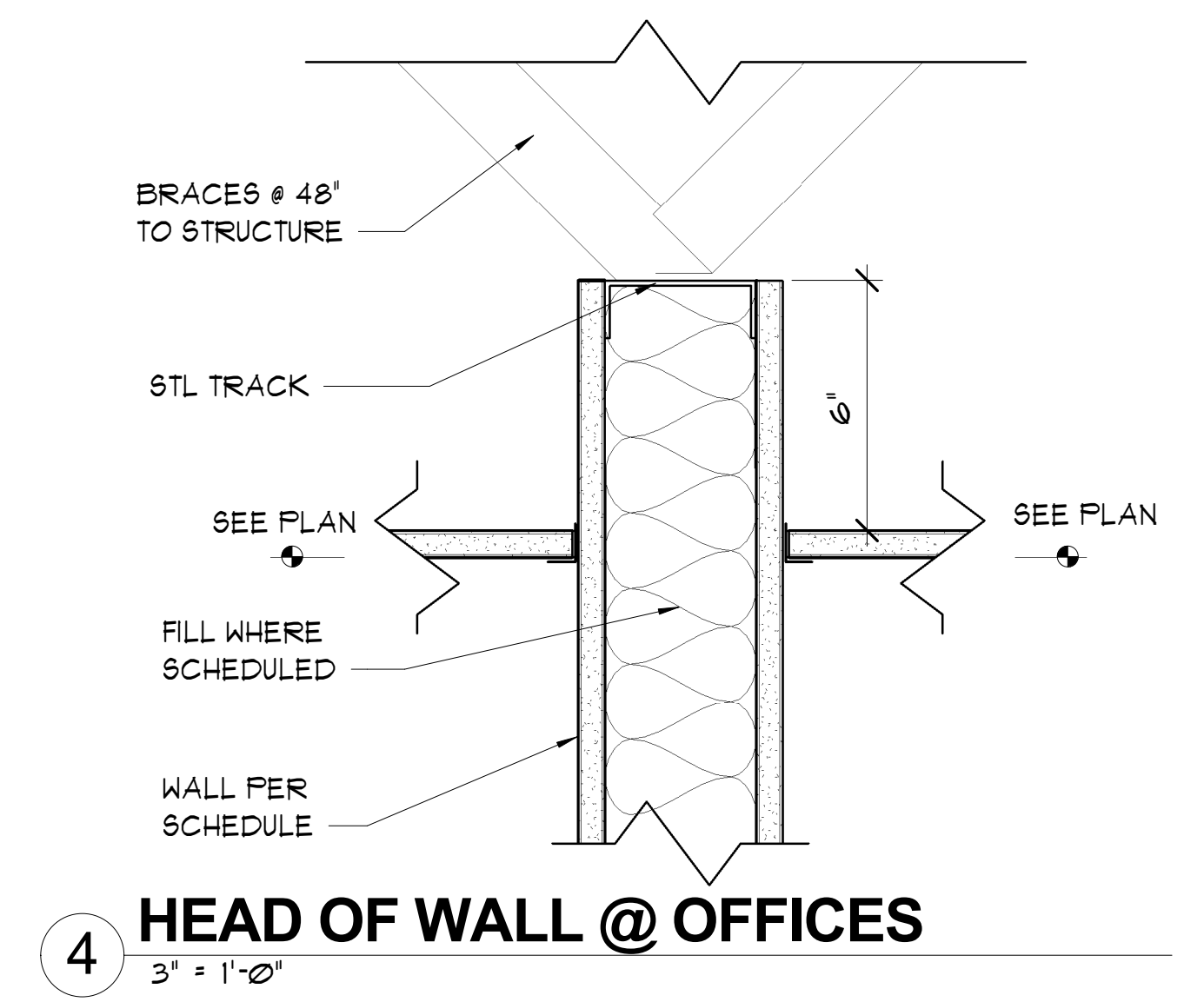
1 TYPICAL BULKHEAD  
3' = 1'-0"



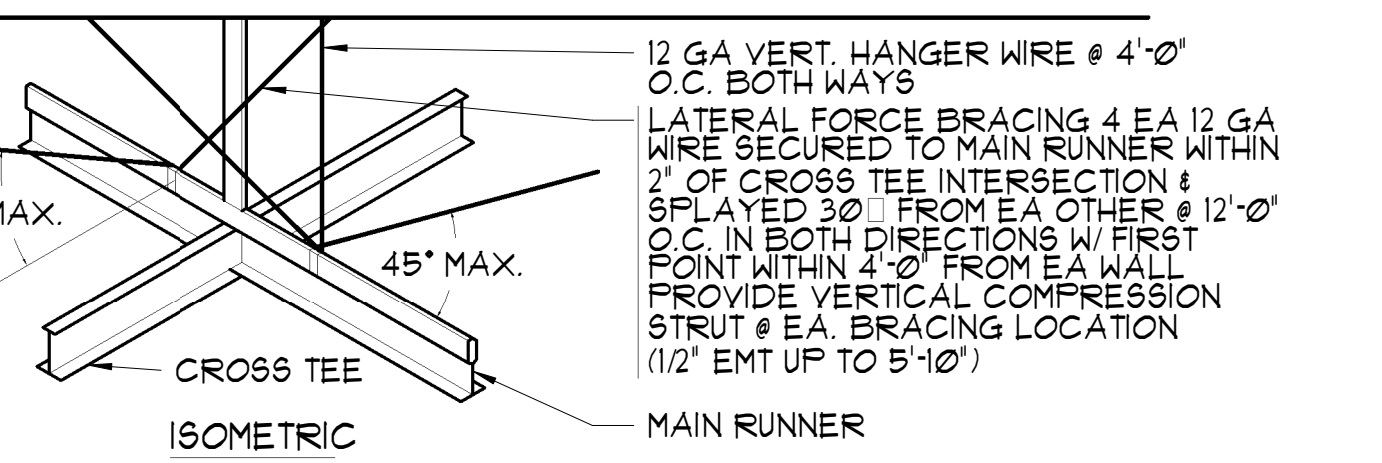
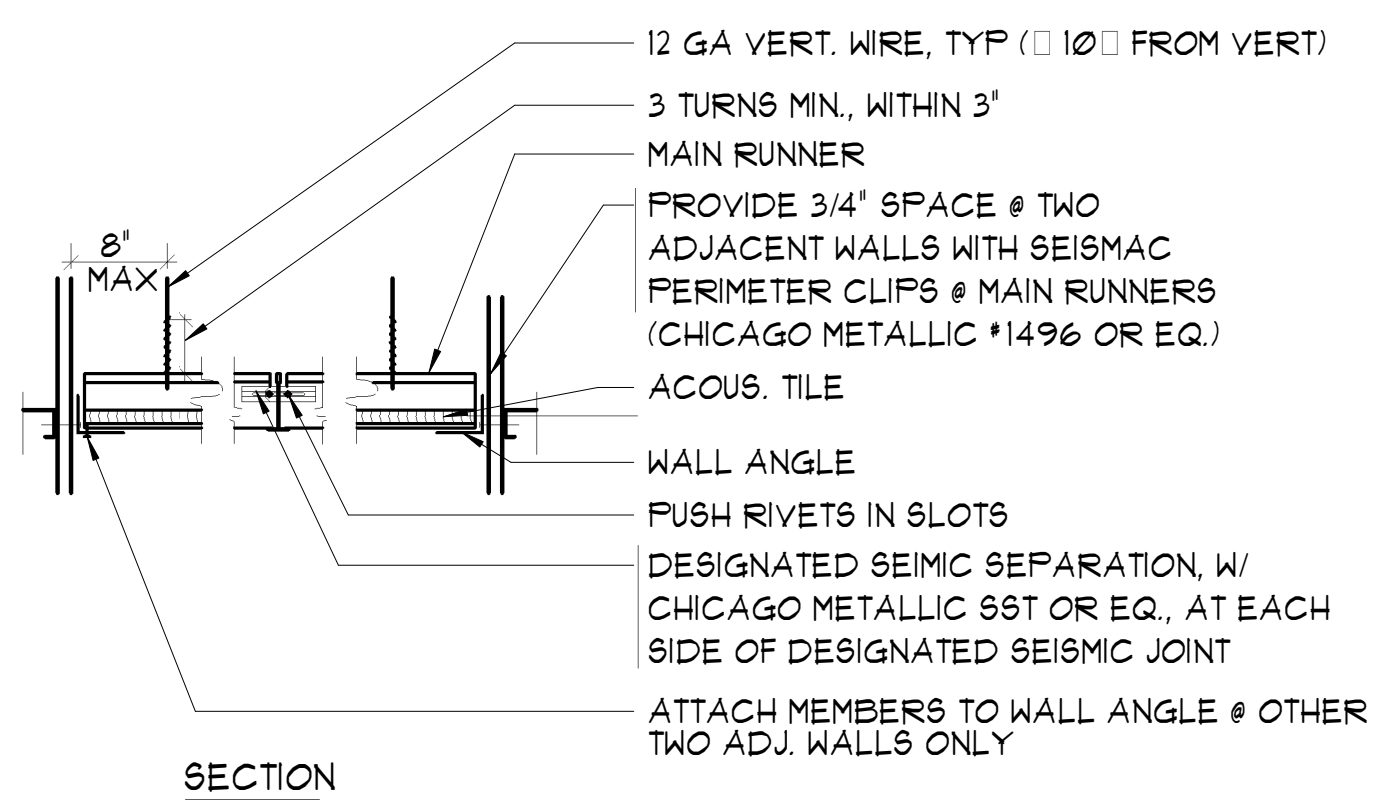
2 TYPICAL STEP-BULKHEAD  
3' = 1'-0"



3 HEAD OF WALL @ OFFICES STEPPED  
3' = 1'-0"



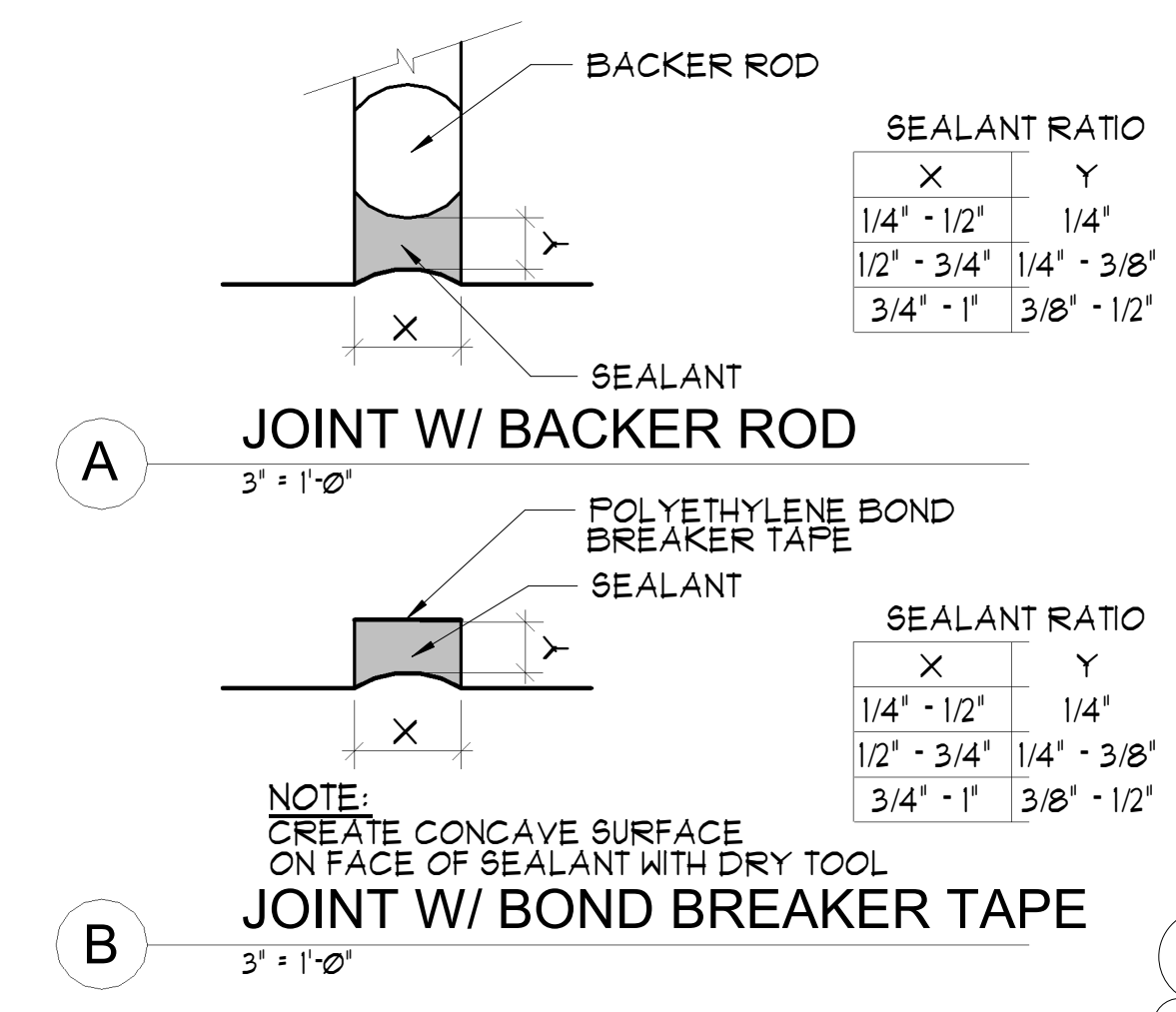
4 HEAD OF WALL @ OFFICES  
3' = 1'-0"



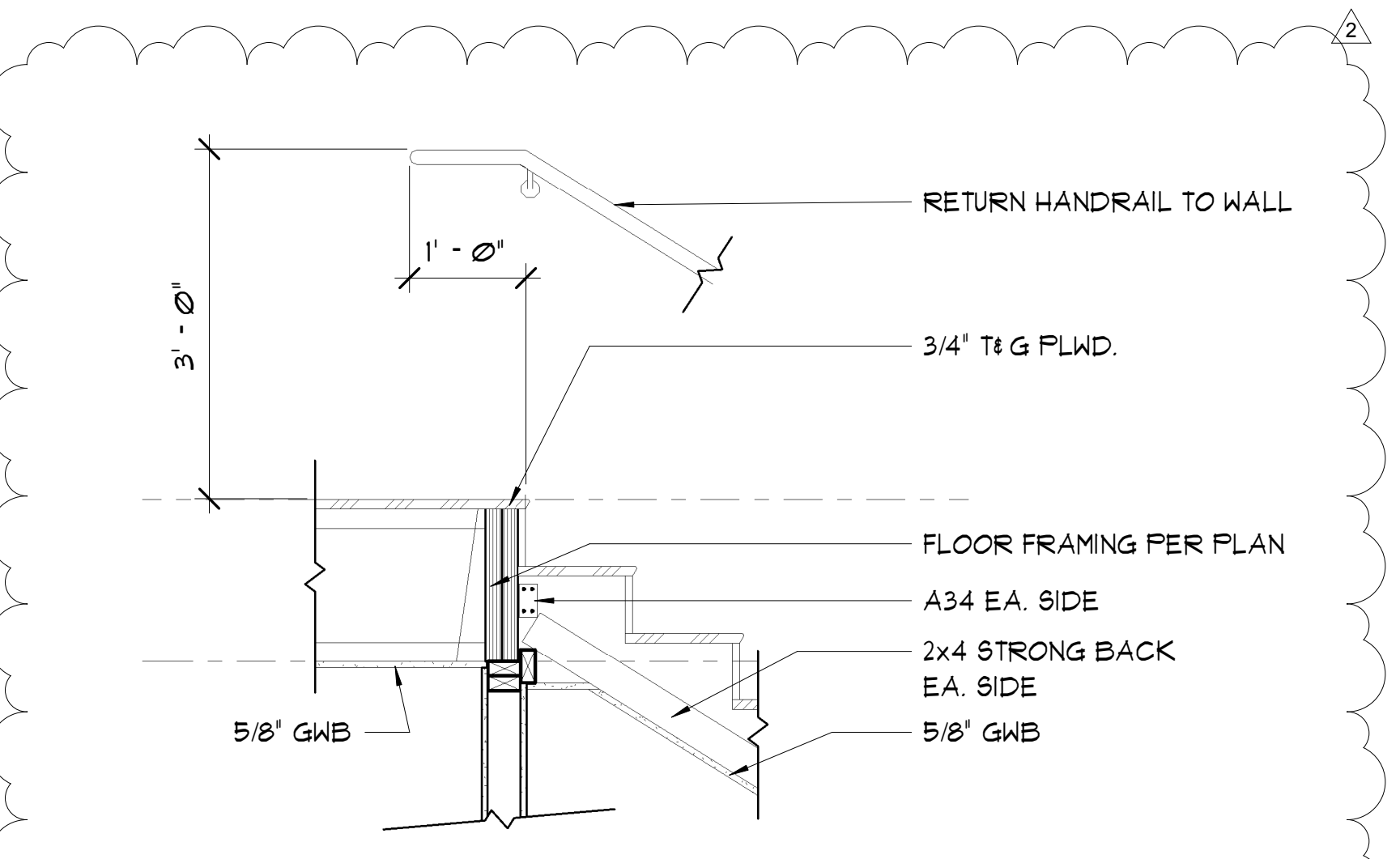
- NOTES:
- 1) INSTALL SYSTEM IN ACCORDANCE W/ CODE A61M C-635, ASCE-7
  - 2) PROVIDE DESIGNATED SEISMIC SEPARATION JOINTS @ 12' O.C. MAX. USING CHICAGO METALLIC SST (OR EQ.) @ EACH SIDE OF DESIGNATED MAIN RUNNER
  - 3) SUPPLY ADDITIONAL 12 GA WIRES FOR LIGHT FIXTURES INDEPENDENT OF GRID SUSPENSION SYSTEM

9 SUSPENDED CEILING BRACING  
3/4" = 1'-0"

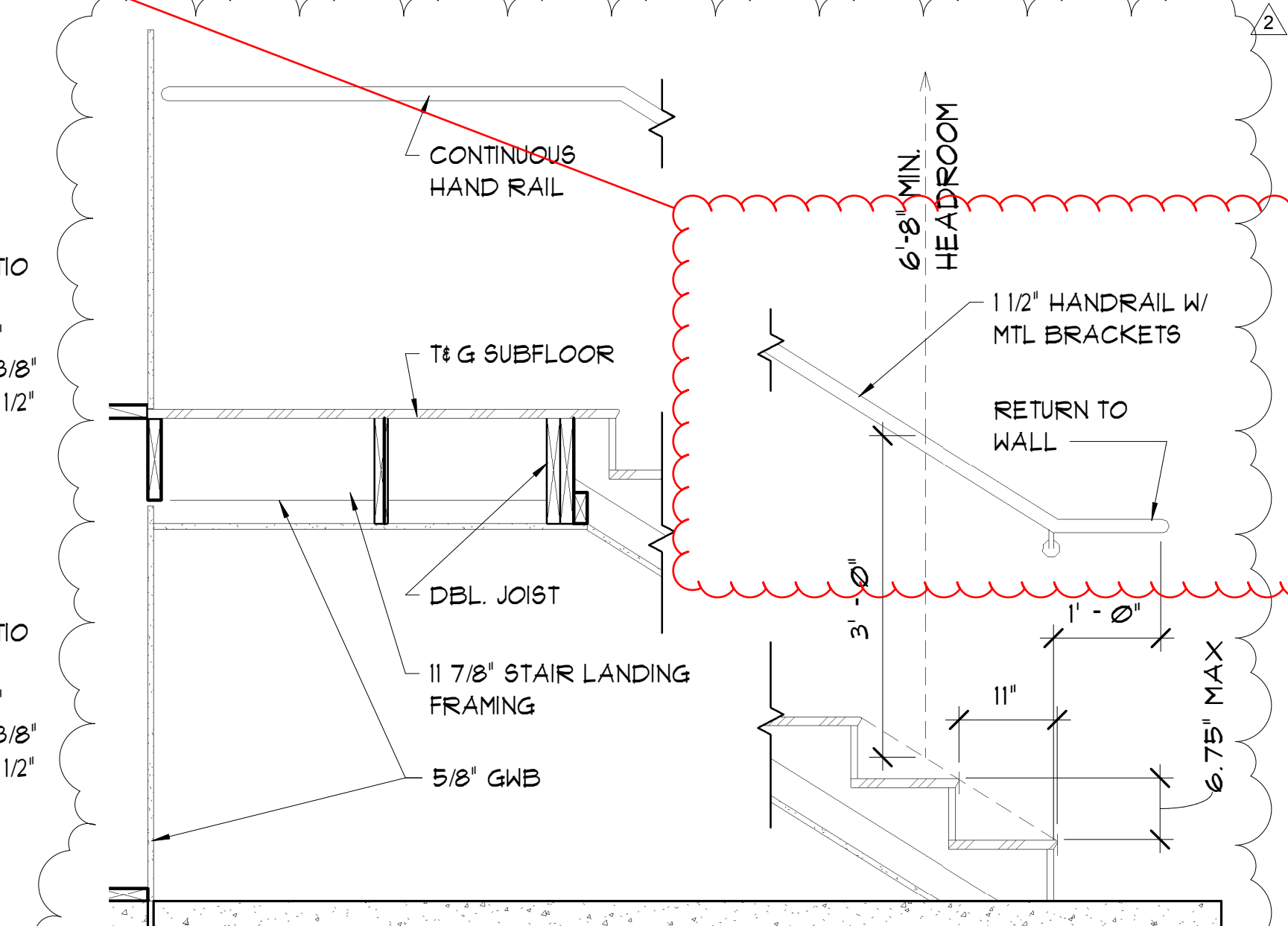
WHERE NOT CONTINUOUS BETWEEN FLIGHTS, HANDRAILS SHALL EXTEND HORIZONTALLY FOR A MIN OF 12" AT TOP OF STAIRS AND CONTINUE SLOPE FOR ONE TREAD DEPTH AT BOTTOM OF STAIRS  
PER IBC 1014.6



15 JOINT BOND / BACKER ROD  
3' = 1'-0"



8 STAIR TO UPPER FLOOR  
3/4" = 1'-0"



16 STAIR TO FLOOR & LANDING  
3/4" = 1'-0"

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**BUILDING CODE**  
2015 INTERNATIONAL BUILDING CODE

**FLOOR LOAD**  
DEAD LOAD: 12 psf  
LIVE LOAD: 50 psf  
PARTITION LOAD 20psf

**ROOF LOAD**  
DEAD LOAD: 15 psf  
FLAT ROOF SNOW LOAD: 25psf  
SNOW EXPOSURE FACTOR (Ce): 1.1  
SNOW LOAD IMPORTANCE FACTOR (Is): 1.0  
THERMAL FACTOR (Ct): 1.1

**WIND DESIGN DATA**  
1. BASIC WIND SPEED: 110 MPH  
2. WIND IMPORTANCE FACTOR (Iw): 1.0  
BUILDING CATEGORY: II  
3. WIND EXPOSURE: C  
4. Kzt = 1.37  
5. INTERNAL PRESSURE COEFFICIENT: NA  
6. APPLICABLE WIND PRESSURE FOR COMPONENTS AND CLADDING: NA

**SEISMIC DESIGN DATA**  
1. SEISMIC IMPORTANCE FACTOR: 1.0  
SEISMIC USE GROUP: I  
2. SPECTRAL RESPONSE ACCELERATION (Sa): 1.18, 0.9%  
3. SITE CLASS: D (ASSUMED)  
4. SPECTRAL RESPONSE COEFFICIENTS (SDS): 0.1, 0.0%  
5. SEISMIC DESIGN CATEGORY: D  
6. BASIC SEISMIC FORCE-RESISTING SYSTEM: SHEARWALLS  
7. DESIGN BASE SHEAR: SEE CALCULATIONS  
8. SEISMIC RESPONSE COEFFICIENT (Cs): 0.087  
9. RESPONSE MODIFICATION FACTOR (R): 6.5 (WOOD SHEARWALLS)  
(R): 1.5 (CANTILEVERED)

POSTS)  
10. ANALYSIS PROCEDURE USED: EQUIVALENT LATERAL FORCE PROCEDURE

**FRAMING LUMBER**  
1. FRAMING LUMBER SHALL BE HEM-FIR NO. 2. GRADES ARE TYPICAL UNLESS OTHERWISE NOTED ON PLANS. LUMBER TO BE GRADE MARKED PER WCLIB SPECIFICATIONS.

2. STRUCTURAL SHEATHING SHALL BE APA RATED PLYWOOD, EXPOSURE 1 SHEATHING CONFORMING TO EITHER COMMERCIAL STANDARDS PS 1-83, APA PRP-108, OR VOLUNTARY PRODUCT STANDARD PSE-92. PROVIDE A MINIMUM OF 3/8" EDGE DISTANCE ON ALL NAILS AND 1/8" EXPANSION JOINT BETWEEN ALL PANEL EDGES. MINIMUM SHEATHING REQUIREMENTS ARE AS FOLLOWS:  
ROOF SHEATHING TO BE 1/2" INT-APA RATED PLYWOOD OR 7/8" OSB WITH EXTERIOR GLUE, P.I. 2410. NAIL WITH 8d NAILS AT 6" ON CENTER AT PANEL EDGES AND 12" ON CENTER AT INTERMEDIATE MEMBERS.

SUB FLOORING TO BE 3/4" TONGUE AND GROOVE C-D INT-APA RATED PLYWOOD OR OSB WITH EXTERIOR GLUE, P.I. 48/24. GLUE AND NAIL WITH 10d NAILS AT 6" ON CENTER AT PANEL EDGES AND 12" ON CENTER AT INTERMEDIATE MEMBERS.

3. NAILING SHALL CONFORM TO TABLE 2304.9.1 OF THE INTERNATIONAL BUILDING CODE UNLESS NOTED OTHERWISE. USE COMMON NAILS THROUGHOUT UNLESS NOTED OTHERWISE.

4. NO STRUCTURAL MEMBER SHALL BE CUT OR NOTCHED UNLESS SPECIFICALLY DETAILED OR APPROVED IN WRITING BY THE STRUCTURAL ENGINEER.

5. PROVIDE PROPERLY SIZED WASHERS UNDER HEADS AND NUTS OF ALL BOLTS AND LAG SCREWS BEARING ON WOOD.

6. PROVIDE 3"x3"x0.229" WASHERS AT ALL ANCHOR BOLTS.  
7. BOLT HOLES SHALL BE NOMINAL DIAMETER OF BOLT PLUS 1/8" UNLESS NOTED OTHERWISE. LAG BOLT PILOT HOLES SHALL BE PRE-DRILLED TO 60% OF THE NOMINAL DIAMETER OF THE LAG BOLT UNLESS NOTED OTHERWISE.

8. ALL SILL PLATES SHALL BE BOLTED TO THE FOUNDATION WITH 3/8" MINIMUM DIAMETER BOLTS SPACED AT A MAXIMUM OF 48" ON CENTER. BOLTS MUST BE EMBEDDED A MINIMUM OF 7" INTO CONCRETE OR MASONRY. SEE PLANS AND DETAILS FOR SPECIFIC REQUIREMENTS WHERE APPLICABLE.

9. RIM JOIST IS TO BE 1 1/2" LSL MINIMUM.

10. PROVIDE DOUBLE JOIST UNDER ALL PARALLEL PARTITION WALLS AND SOLID BLOCKING UNDER PERPENDICULAR PARTITION WALLS.

11. CONTACT THIS OFFICE PRIOR TO MAKING ANY CHANGES TO THESE DETAILS.

**FOUNDATIONS**  
1. THE FOUNDATION DESIGN IS BASED ON THE RECOMMENDATION IN THE GEOTECHNICAL REPORT PREPARED BY GEOSOURCES, DATED AUGUST 17, 2018, DOC ID: DOW.HIGHLANDSDRSE.RG.ORMED IN ACCORDANCE WITH CHAPTER 18 OF THIS CODE.

2. THE FOUNDATION DESIGN IS BASED ON THE FOLLOWING VALUES:  
ALLOW. SOIL BEARING 1500 PSF  
SOIL FRICTION .35  
EQUIV. FLUID PRESSURES  
ACTIVE PRESSURE\* 35 PCF  
PASSIVE PRESSURE 350 PCF

3. ALL FOOTINGS SHALL BE FOUNDED AT LEAST 18" BELOW THE UNDISTURBED GROUND SURFACE OR TO FROST DEPTH. ALL FOOTINGS SHALL BE FOUNDED ON COMPACTED FILL OR UNDISTURBED NATURAL GRADE UNLESS OTHERWISE NOTED.

4. COMPACTION: MATERIAL FOR FILLING AND BACKFILLING SHALL MEET THE REQUIREMENTS OF THE ABOVE MENTIONED GEOTECHNICAL REPORT.

**PIPE FOUNDATION**  
1. 2" GALVANIZED SCHEDULE 80 PIPE, ASTM A-53, TYPE E GRADE IS TO BE USED AT ALL LOCATIONS.  
2. PROVIDE 1/4" CAP OR CUTTING OF PIPE AND 1/4"x3"x3" CAP ON TOP OF PILES. PROVIDE 3/8" DIA. STRENGTHENED ENDS. USE THREADED OR SLIP COUPLERS TO EXTEND PIPE PILES. LENGTHS TO BE DETERMINED BY FIELD CONDITIONS.  
3. PIPE PILING TO BE INSTALLED UNDER THE OBSERVATION OF THE GEOTECHNICAL ENGINEERS.

**CONCRETE**  
1. ALL CONCRETE UNLESS OTHERWISE NOTED SHALL BE REGULAR WEIGHT HARD ROCK TYPE (150 PCF) AGGREGATES SHALL CONFORM TO ASTM C33 WITH PROVEN SHRINKAGE CHARACTERISTICS OF LESS THAN 0.05%. **NO SPECIAL INSPECTION REQUIRED - RM/COLS**

2. ALL CONCRETE DESIGN IS BASED ON A 28 DAY COMPRESSIVE STRENGTH (fc) OF 2500 PSI. WHERE 3000 PSI CONCRETE IS REQUIRED BY THE BUILDING DEPARTMENT FOR WEATHERING PURPOSES ONLY, NO SPECIAL INSPECTION IS REQUIRED.

3. CEMENT SHALL CONFORM TO ASTM C150, TYPE I, CSA NORMAL

4. MAXIMUM SLUMP SHALL NOT EXCEED 4 INCHES IN FLATWORK.

5. PLACEMENT OF CONCRETE SHALL BE IN CONFORMANCE WITH ACI 301.

6. CONCRETE SHALL BE MAINTAINED IN A MOIST CONDITION FOR A MINIMUM OF FIVE (5) DAYS AFTER PLACEMENT. ALTERNATE METHODS WILL BE APPROVED IF SATISFACTORY PERFORMANCE CAN BE ASSURED.

7. KEYED CONSTRUCTION JOINTS SHALL BE USED IN ALL CASES. ALL CONSTRUCTION JOINTS SHALL BE THOROUGHLY CLEANED AND ALL LAITANCE SHALL BE REMOVED. ALL VERTICAL JOINTS SHALL BE THOROUGHLY WETTED AND SLUSHED WITH A COAT OF NEAT CEMENT IMMEDIATELY BEFORE PLACING NEW CONCRETE.

8. SUBMIT LOCATION OF POUR JOINTS PRIOR TO PLACEMENT. POUR JOINTS SHALL BE LOCATED TO MINIMIZE EFFECTS OF SHRINKAGE AS WELL AS PLACED AT POINTS OF LOW STRESS. MAXIMUM AREA OF POUR JOINTS IS 400 SF.

9. MINIMUM CONCRETE COVERAGE OF REINFORCING STEEL FOR FORMED WORK SHALL BE AS FOLLOWS:  
INTERIOR WALL: 3/4"  
EXTERIOR WALLS, EXPOSED TO WEATHER: 1 1/2"  
EXPOSED TO EARTH OR WEATHER (#5 OR SMALLER): 1 1/2"

\*NOTE: CONCRETE CAST AGAINST GROUND SHALL HAVE 3" MIN. COVERAGE

10. PIPES OTHER THAN ELECTRICAL CONDUITS SHALL NOT BE EMBEDDED IN STRUCTURAL CONCRETE EXCEPT WHERE SPECIFICALLY APPROVED.

11. CONCRETE MIXES SHALL BE PROVIDED IN ACCORDANCE WITH ACI 318 (WHEN STRENGTH DATA FROM TRIAL BATCHES OR FIELD EXPERIENCE ARE NOT AVAILABLE).

PER	CEMENT CONTENT	SACKS
Fc (PSI)	LBS/CUBIC YARD (MINIMUM)	CUBIC YARD
2500 (no special inspection)	470	5
SEE NOTE A		
3000	517	5 1/2

MIXES SHALL BE PROPORTIONED TO PRODUCE A SLUMP OF 5" OR LESS. NO MORE THAN A 1" PLUS TOLERANCE SHALL BE ALLOWED.

A) WHERE SPECIAL INSPECTION IS NOT REQUIRED UNDER SECTION 1704.4 OF THE I.B.C., CONCRETE SHALL HAVE A MINIMUM CEMENT CONTENT OF 5 SACKS PER CUBIC YARD OF CONCRETE.

B) DESIGN MIX (OTHER THAN AS SPECIFIED IN THIS TABLE) SHALL BE SUBMITTED TO THE BUILDING OFFICIAL TWO WEEKS PRIOR TO FIRST USE.

**PHASE 2 WORK IS NOT APPROVED**

**REINFORCING STEEL**  
1. ALL REINFORCING STEEL SHALL CONFORM TO ASTM A615 GRADE 60 (fy = 60 KSI) FOR BAR SIZES NO. 5 # LARGER, GRADE 40 (fy = 40 KSI) FOR NO. 3 AND NO. 4 BARS.

2. ALL REINFORCING STEEL SHALL BE LAPPED AS NOTED ON THE PLANS. WHERE LAP OR SPLICE LOCATIONS ARE NOT SPECIFICALLY INDICATED ON THE CONSTRUCTION DOCUMENTS, LAPS AND/OR SPLICES SHALL BE 42 BAR DIA AND BE WELL STAGGERED.

3. COMPLETE REINFORCING PLACEMENT DRAWINGS PREPARED IN ACCORDANCE WITH ACI 315 SHALL BE REVIEWED BY THE ENGINEER AND AVAILABLE ON THE JOB SITE PRIOR TO THE PLACING OF CONCRETE.

4. WELDED WIRE FABRIC SHALL CONFORM TO ASTM A82 AND A185 AND SHALL BE 6x6 W2, 1/W2.1 UNLESS OTHERWISE NOTED. LAP REINFORCEMENT 6" MINIMUM.

5. ANCHOR BOLTS, DOWELS AND OTHER EMBEDDED ITEMS SHALL BE SECURELY TIED IN PLACE BEFORE CONCRETE IS POURED. SLAB ON GRADE REINFORCEMENT SHALL BE PLACED AT MID-DEPTH OF SLAB AND SHALL BE HELD SECURELY IN PLACE WITH MECHANICAL DEVICES DURING PLACING OF THE CONCRETE.

**ROOF TRUSS**

1. THE TRUSSES SHALL BE DESIGNED BY THE FABRICATOR TO FIT DIMENSIONS AND LOADS INDICATED ON THE PLANS AND IN THE STRUCTURAL NOTES. ALL DESIGNS SHALL BE IN ACCORDANCE WITH ALLOWABLE VALUES ASSIGNED BY THE BUILDING CODE. CONCENTRATED MECHANICAL ROOF LOADS SHALL BE INCLUDED IN THE DESIGN. VERIFY WEIGHTS AND LOCATIONS WITH THE ARCHITECT. SHOP DRAWINGS MUST BE RETAINED AT THE JOB SITE AND AVAILABLE TO THE BUILDING INSPECTOR FOR REFERENCE. THE TRUSS CALCULATION PACKAGE SHALL BE DESIGNED UNDER THE DIRECT SUPERVISION OF A PROFESSIONAL ENGINEER LICENSED IN THE STATE OF WASHINGTON. THE TRUSS ENGINEER SHALL ASSUME ALL RESPONSIBILITY FOR THE WORK OF ALL SUBORDINATES INVOLVED IN THE PREPARATION OF THE TRUSS PLACEMENT PLANS AND THE TRUSS DESIGN DRAWINGS.

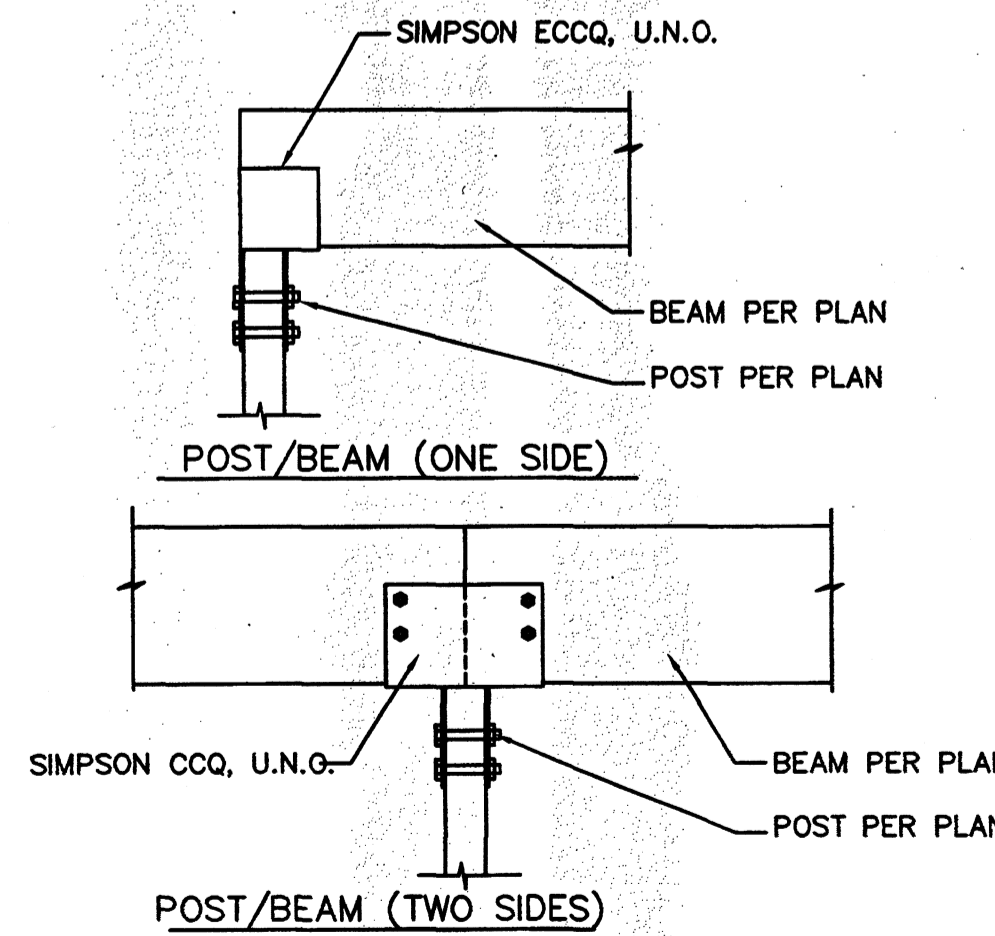
2. SHOP DRAWINGS AND CALCULATIONS SHALL BE SUBMITTED TO THE ENGINEER FOR APPROVAL PRIOR TO FABRICATION. DRAWINGS AND CALCULATIONS SHALL BE STAMPED AND SIGNED BY A REGISTERED PROFESSIONAL ENGINEER. THE DRAWINGS SHALL SHOW ALL CRITICAL DIMENSIONS AS WELL AS THE LOADS THE TRUSSES ARE DESIGNED TO SUPPORT. THE TRUSSES ARE TO BE ERECTED AND INSTALLED IN ACCORDANCE WITH THE PLANS, APPROVED FABRICATOR DRAWINGS, AND INSTALLATION SUGGESTIONS. CONTRACTOR SHALL GIVE NOTIFICATION PRIOR TO ENCLOSING THE TRUSSES TO PROVIDE AN OPPORTUNITY FOR INSPECTION OF THE INSTALLATION. DESIGN AND PROVIDE BRIDGING BETWEEN THE TRUSSES, CONTINUOUS LATERAL BRACING AND DIAGONAL BRACING PER TRUSS PLATE INSTITUTE RECOMMENDATIONS. SHOP DRAWINGS MAY CONTAIN THE MANUFACTURERS ENGINEERING RESPONSIBILITY LIMITATIONS. HOWEVER, THEY SHALL MAKE NO STATEMENT AS TO THE ENGINEER OF RECORD RESPONSIBILITIES.

**GLUED-LAMINATED TIMBER**

1. ADHESIVE SHALL BE FOR WET USE.

2. LAMINATIONS SHALL BE OF DOUGLAS FIR/WESTER LARCH, COMBINATION 24F-V4 FOR SIMPLE SPAN BEAMS AND 24F-V8 FOR CONTINUOUS MULTIPLE SPAN AND CANTILEVERED BEAMS, FABRICATED IN ACCORDANCE WITH AITC A190.1 AND ASTM D 3737.

3. FABRICATION SHALL BE BY A LICENSED FABRICATOR; SHOP DRAWINGS SHALL BE SUBMITTED TO THE ENGINEER FOR APPROVAL PRIOR TO FABRICATION. AITC CERTIFICATES OF INSPECTION ARE REQUIRED FOR ALL MEMBERS.



1 TYP. POST TO BEAM CONN.

**GENERAL**

1. ALL MATERIALS AND WORKMANSHIP SHALL CONFORM TO THE CONTRACT DRAWINGS.

2. DURING THE CONSTRUCTION PERIOD THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SAFETY OF THE BUILDING. THE CONTRACTOR SHALL PROVIDE ADEQUATE SHORING, BRACING AND GUYS IN ACCORDANCE WITH ALL NATIONAL, STATE AND LOCAL SAFETY ORDINANCES. ANY DEVIATION MUST BE APPROVED PRIOR TO ERECTION.

3. ALL ERECTION PROCEDURES SHALL CONFORM TO OSHA STANDARDS. ANY DEVIATION MUST BE APPROVED BY OSHA PRIOR TO ERECTION.

4. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION PROCEDURES INCLUDING LAGGING, SHORING AND PROTECTION OF ADJACENT PROPERTY, STRUCTURES, STREETS AND UTILITIES IN ACCORDANCE WITH ALL NATIONAL, STATE AND LOCAL SAFETY ORDINANCES.

5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THE WORK OF ALL TRADES AND SHALL CHECK ALL DIMENSIONS. ALL DISCREPANCIES SHALL BE CALLED TO THE ATTENTION OF THE ENGINEER AND BE RESOLVED BEFORE PROCEEDING WITH THE WORK.

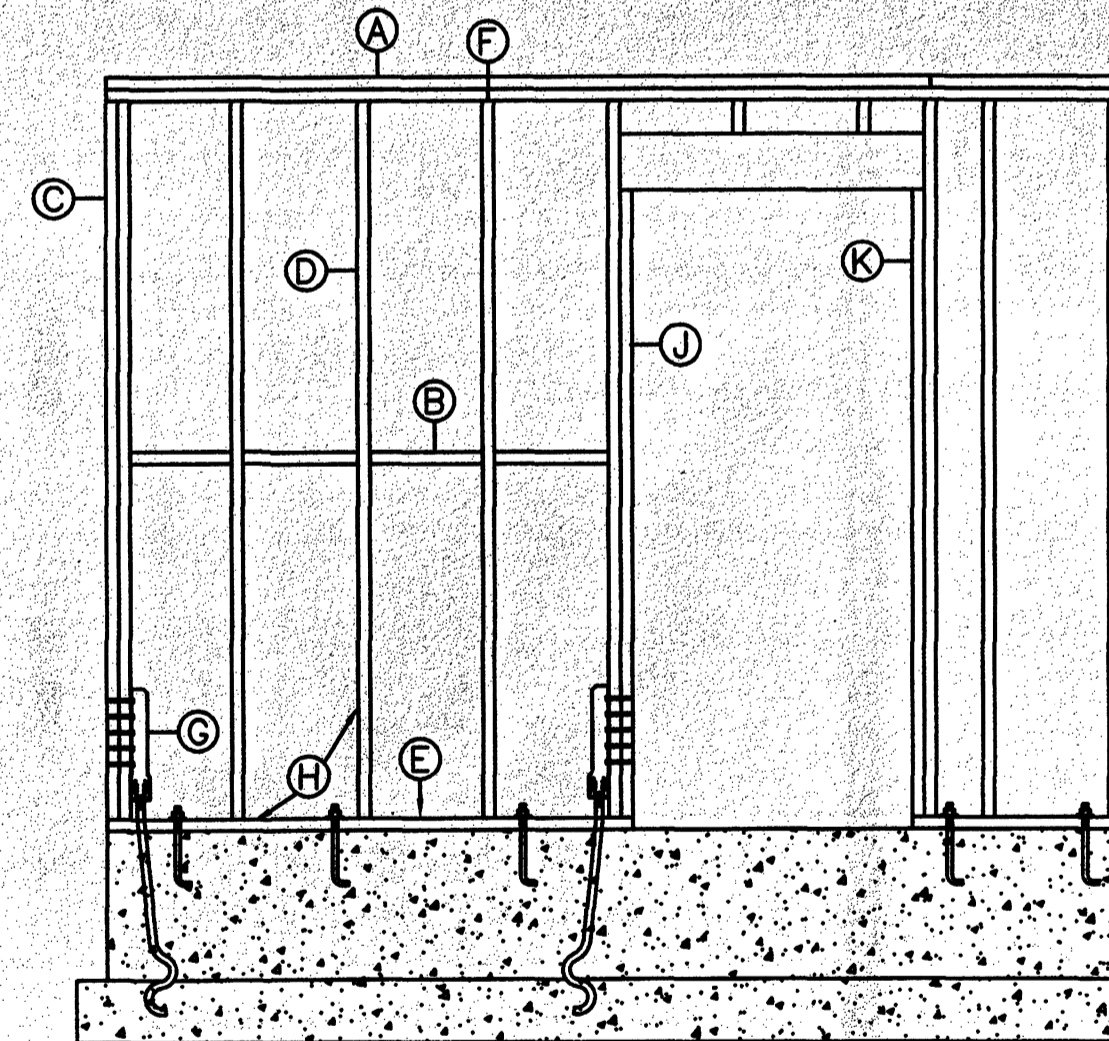
6. SHOP DRAWINGS FOR PREFABRICATED TRUSSES AND MANUFACTURED FLOOR JOISTS SHALL BE SUBMITTED TO THE ENGINEER FOR REVIEW PRIOR TO FABRICATION.

7. DRAWINGS INDICATE GENERAL AND TYPICAL DETAILS OF CONSTRUCTION. WHERE CONDITIONS ARE NOT SPECIFICALLY INDICATED BUT ARE OF SIMILAR CHARACTER TO DETAILS SHOWN, SIMILAR DETAILS OF CONSTRUCTION SHALL BE USED SUBJECT TO REVIEW BY THE ENGINEER.

8. ALL DETAILS DESIGNATED AS STANDARD OR TYPICAL SHALL OCCUR IN ADDITION TO ANY OTHER SPECIFIC DETAIL CALLED OUT.

9. COORDINATE WITH MECHANICAL, PLUMBING, AND ELECTRICAL DRAWINGS FOR SIZE AND LOCATION OF ALL OPENINGS REQUIRED FOR DUCTS, PIPES, PIPE SLEEVES, ELECTRICAL CONDUITS, AND OTHER ITEMS TO BE EMBEDDED IN CONCRETE OR OTHERWISE INCORPORATED IN STRUCTURAL WORK.

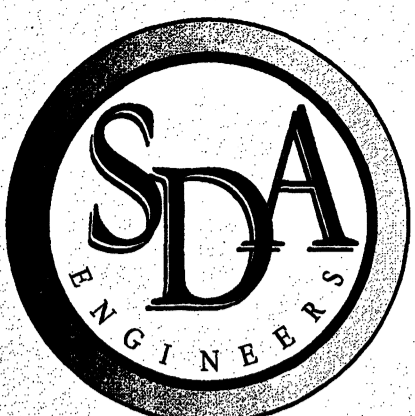
10. PROVIDE OPENINGS AND SUPPORTS, AS REQUIRED PER STANDARD DETAILS FOR HEATERS, MECHANICAL EQUIPMENT, VENTS, DUCTS, PIPING, ETC. ALL SUSPENDED MECHANICAL EQUIPMENT SHALL BE SWAY OR LATERALLY BRACED



- A) DOUBLE TOP PLATE W/ EDGE NAILING (STAGGER)
- B) SHEARWALL EDGE NAILING AT ALL PANEL EDGES. BLOCKING AT ALL PANEL EDGES WHERE APPLICABLE.
- C) EDGE NAILING TO HOLDOWN POST (FULL HEIGHT) STAGGER INTO DOUBLE STUDS
- D) STUDS @ 16" ON CENTER
- E) PRESSURE TREATED SILL PLATE WITH EDGE NAILING AND ANCHOR BOLTS PER SHEARWALL SCHEDULE.
- F) TOP PLATE SPLICE NAILING TO BE (8) 16d SINKERS (MIN). LAP 48" MINIMUM. CENTER SPLICE ON STUD.

- G) HOLDOWN PER SCHEDULE AND PLAN (HDQ8-SDS3 SHOWN)
- H) COORDINATE ALL STUD AND PLATE SIZES w/ SHEARWALL SCHEDULE REQUIREMENTS
- I) EDGE NAILING TO POSTS, TRIM STUDS, AND KING STUDS
- J) BEARING STUD FOR HEADER

2 STD. SHEARWALL ELEVATION W/O RIM



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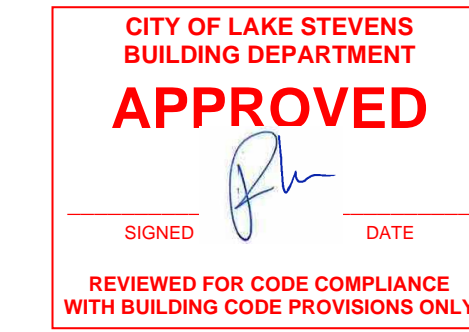
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Checked By: CHRIS  
Date: 03-18-18

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3	KM

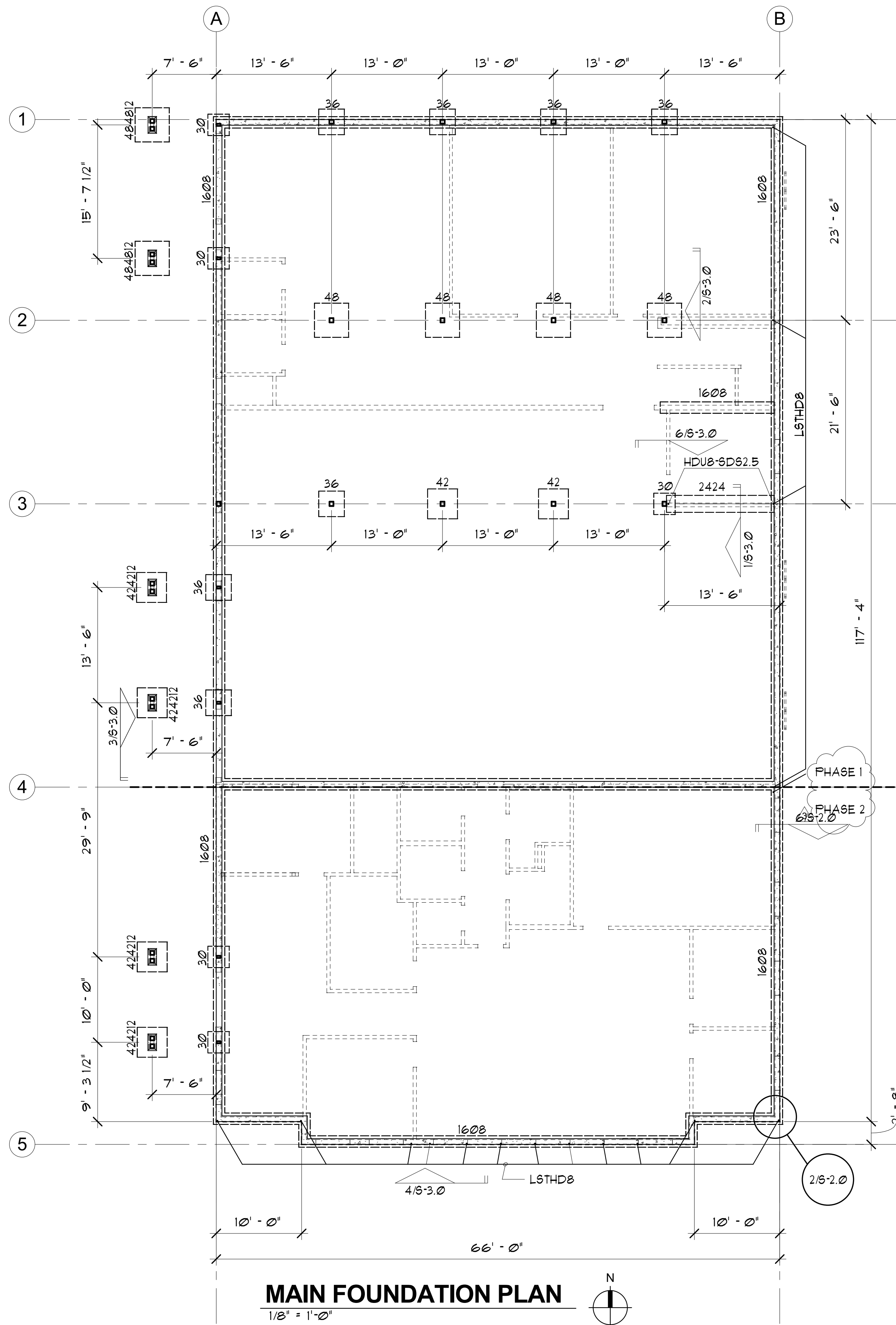
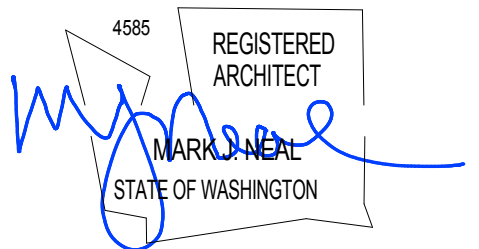


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**NOTE:**  
SEE FOOTING SIZE & REINFORCING SHEET S-2.0

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Date: 2019-04-17  
Scale Factor: 1  
Drawn: HE  
File: 18465

Sheet  
**S1.1**

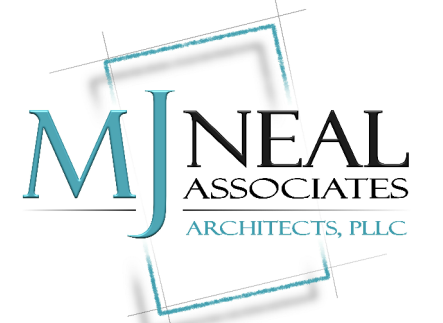


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	08-04-20

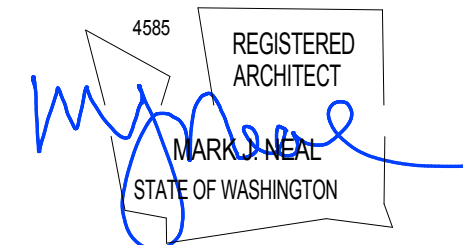


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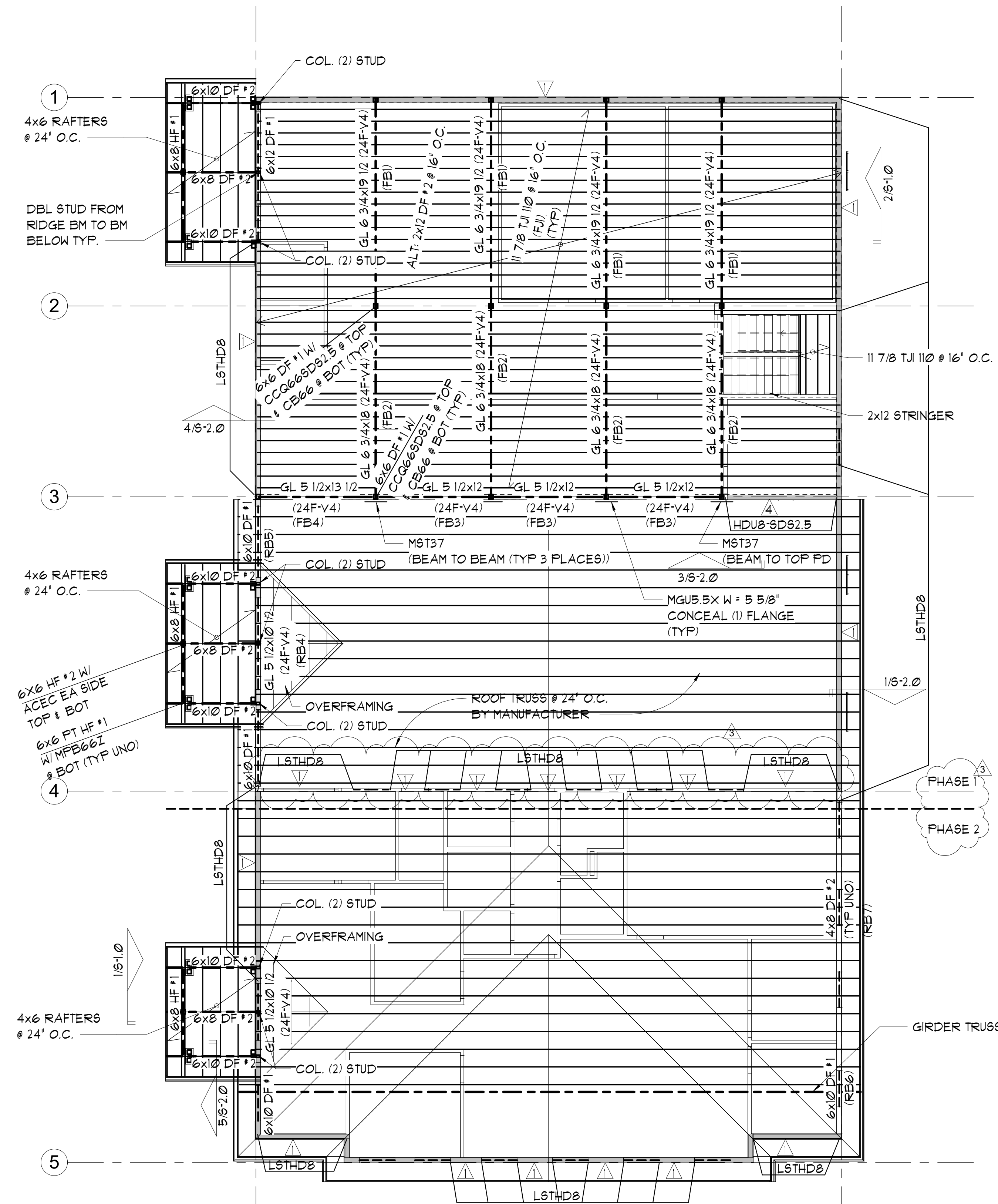


**ROOF FRAMING GENERAL NOTES**

- ROOF FRAMING BY DEFERRED SUBMITTAL
- HI HOLDOWN AT EA. TRUSS, TYP.

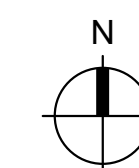
**STRUCTURAL PLAN LEGEND**

- ===== WALL BELOW, BEARING
- ===== WALL BELOW, NONBEARING
- ===== WALL ABOVE
- TOF 0'-0" TOP OF FOOTING ELEVATION



**SECOND FLOOR FRAMING PLAN / AND LOWER FLOOR ROOF FRAMING**

1/8" = 1'-0"



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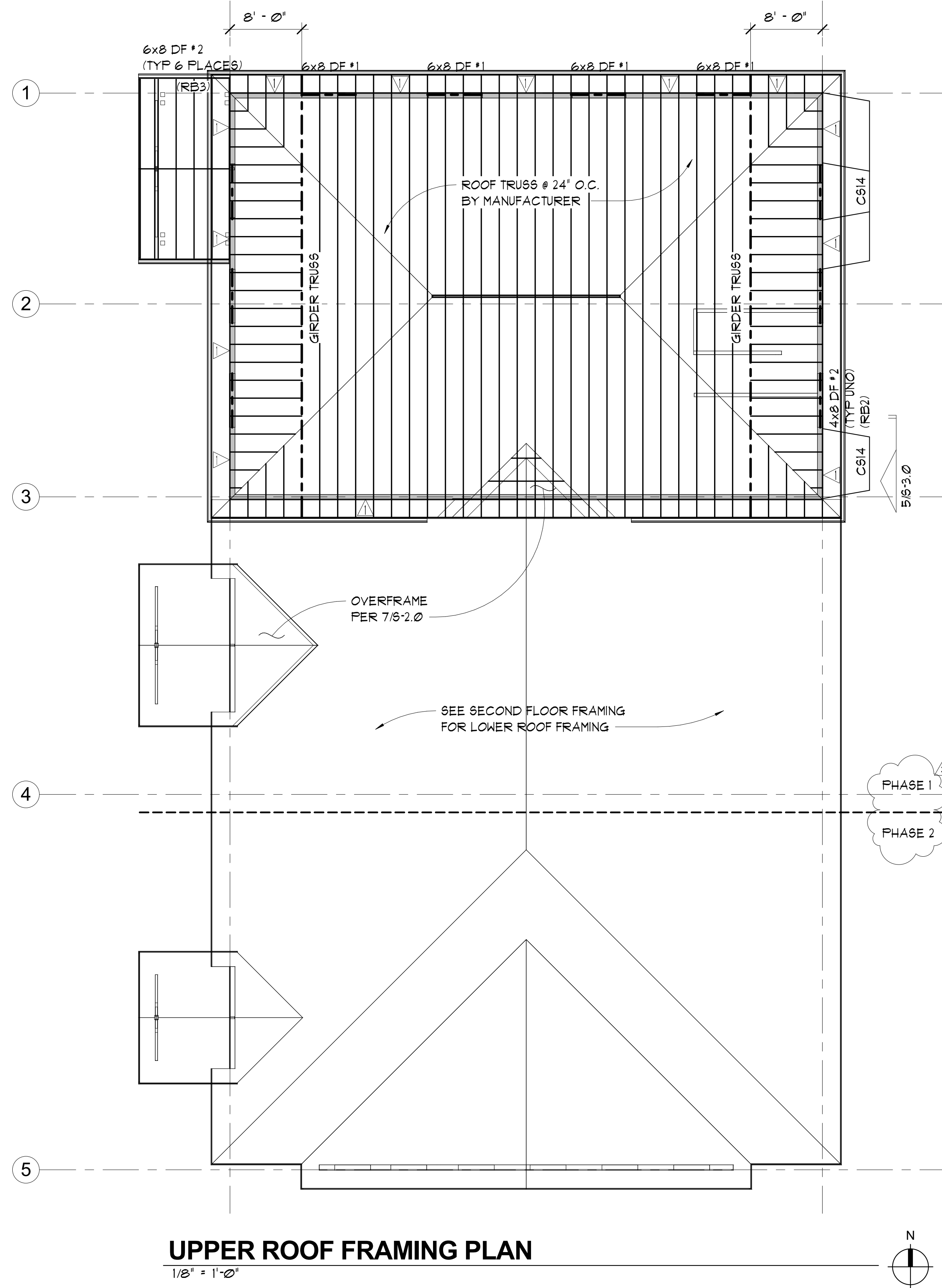
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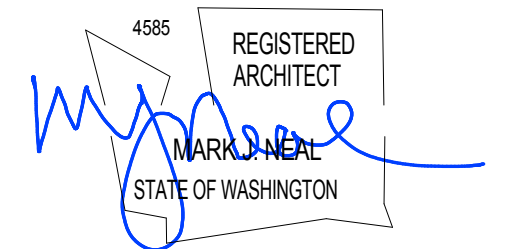


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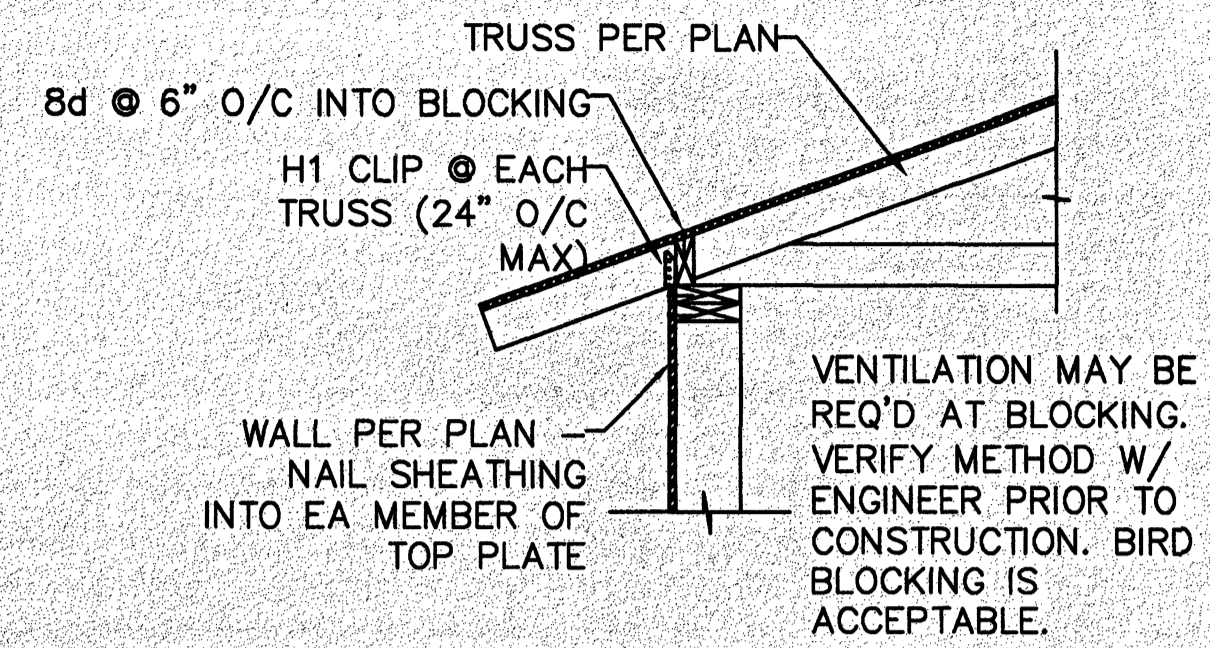
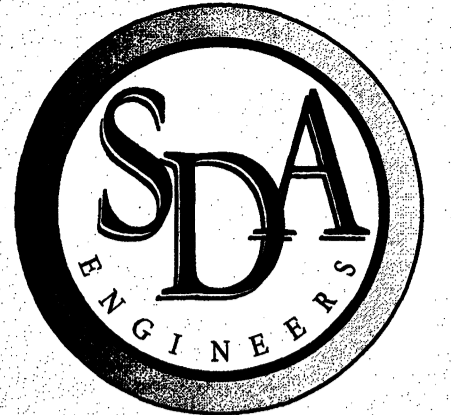
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**STRUCTURAL PLAN LEGEND**

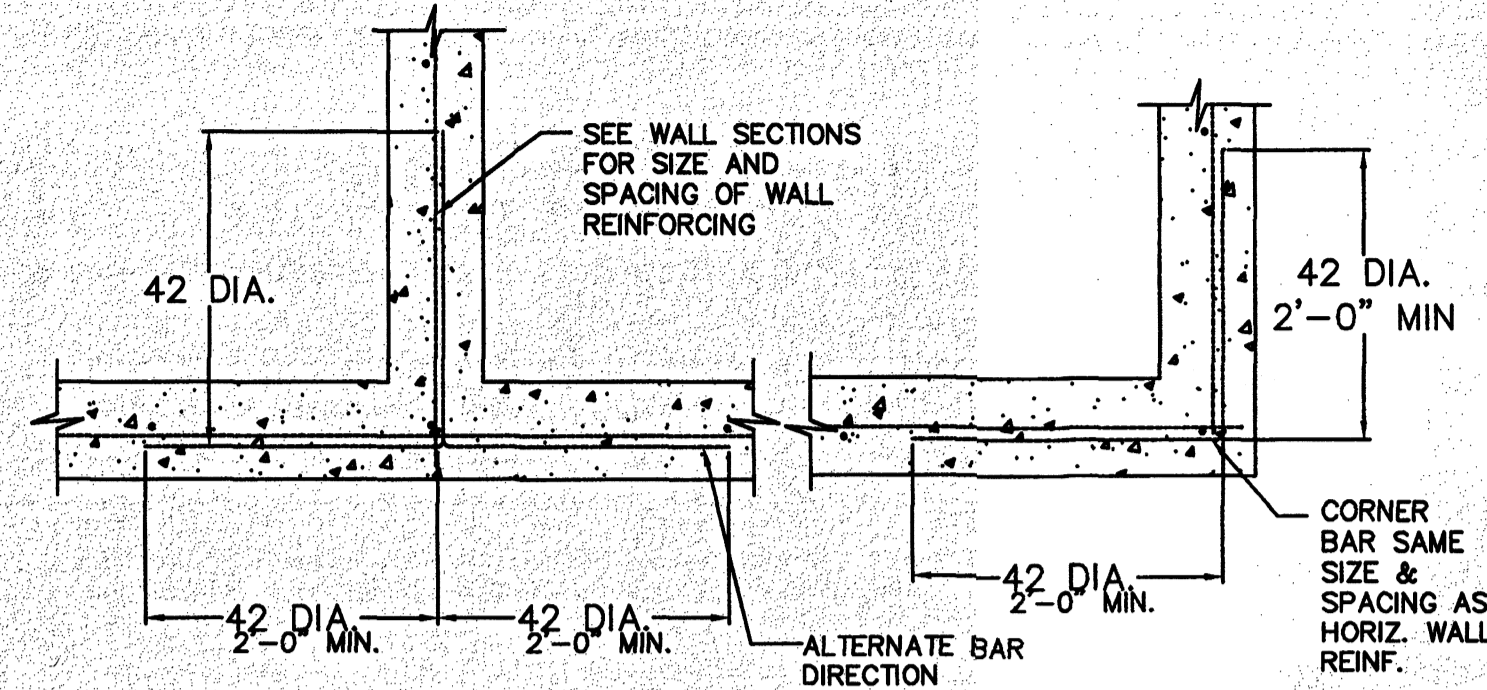
- WALL BELOW, BEARING
- WALL BELOW, NONBEARING
- == == == WALL ABOVE
- ⊕ TOF 0'-0" TOP OF FOOTING ELEVATION



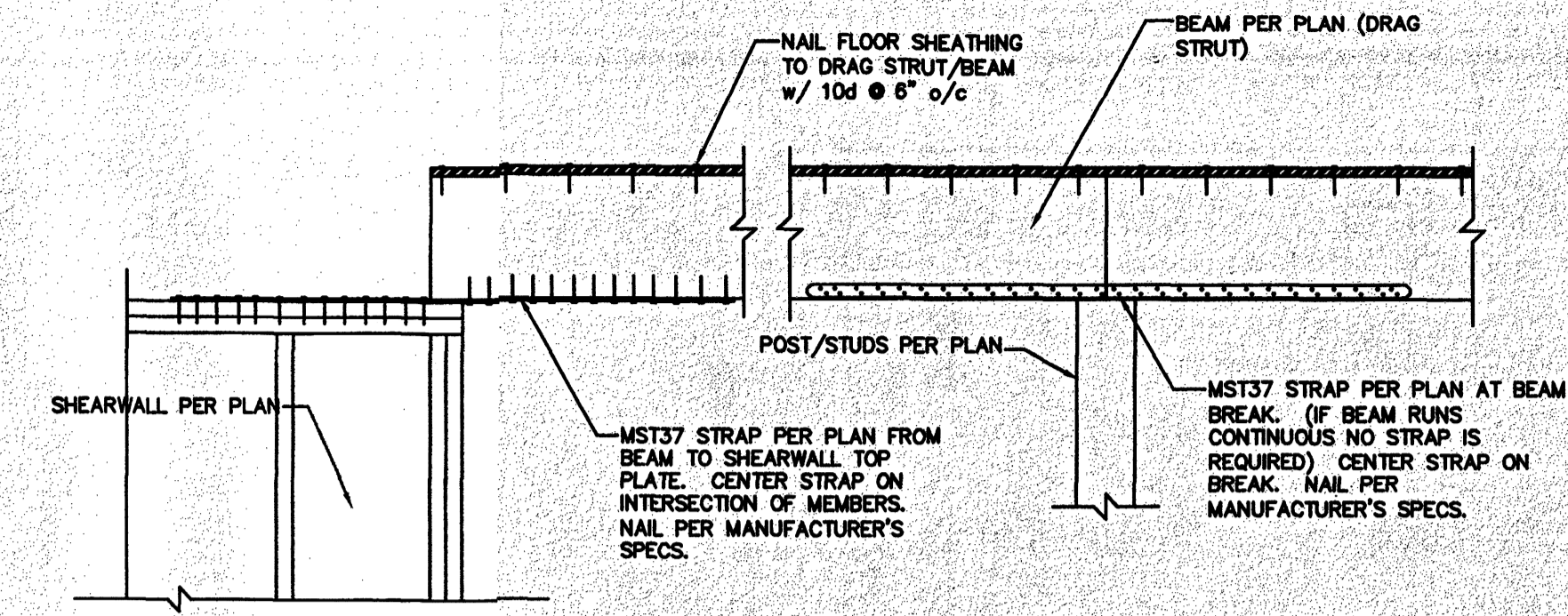
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REVIEWED FOR CODE COMPLIANCE  
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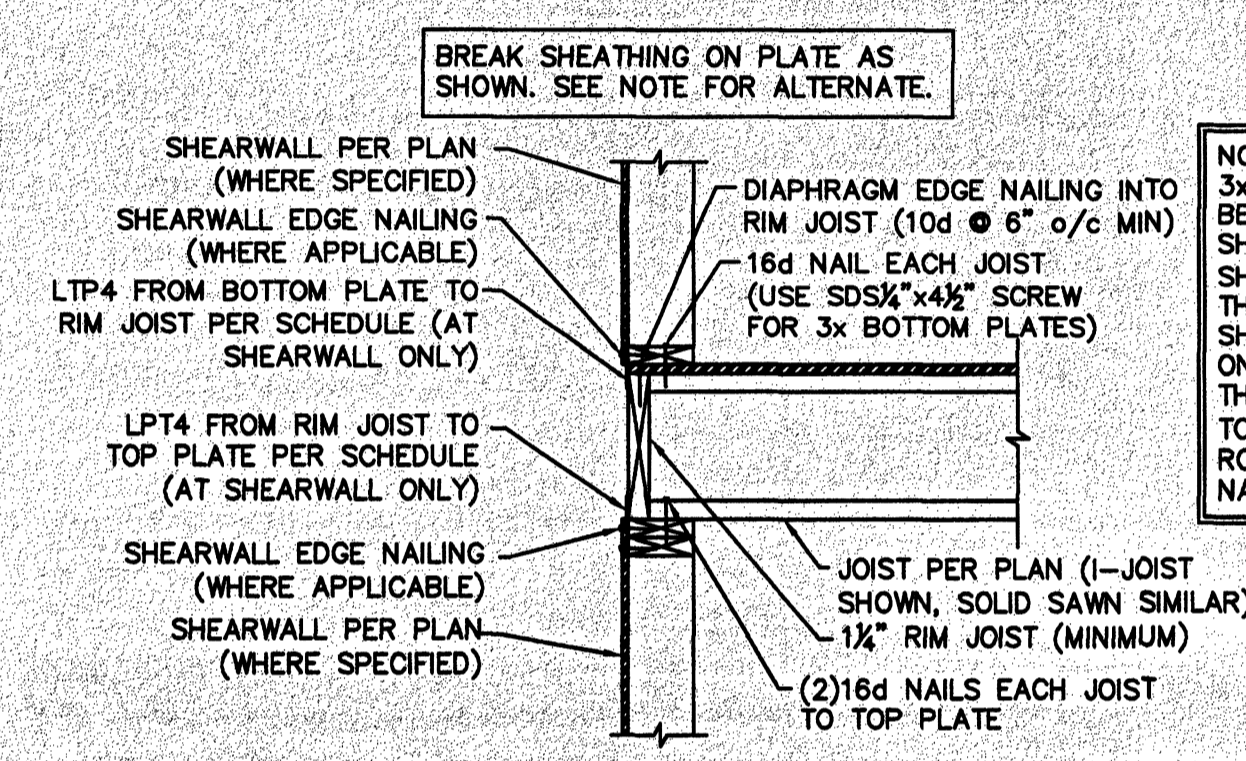
1 ROOF/SHEARWALL CONN.



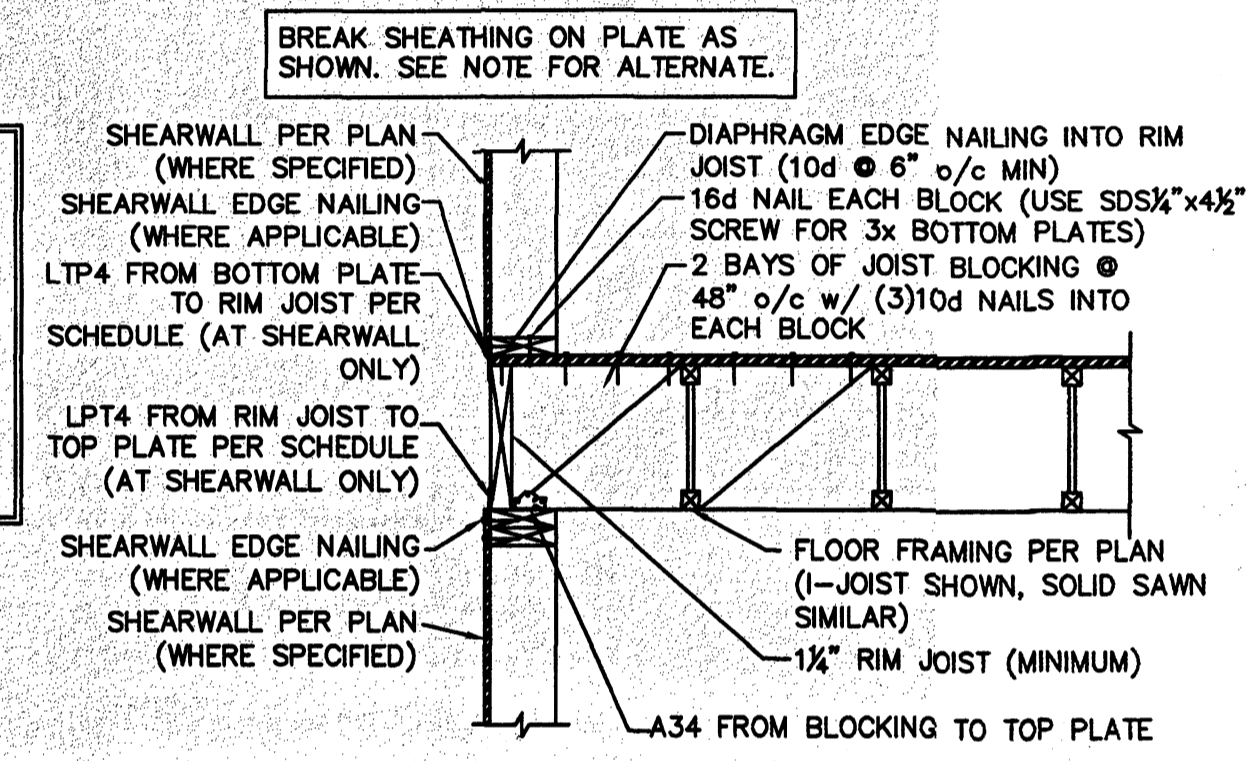
2 CORNER REINFORCEMENT DETAILS



3 DRAG STRUT/WALL CONNECTION

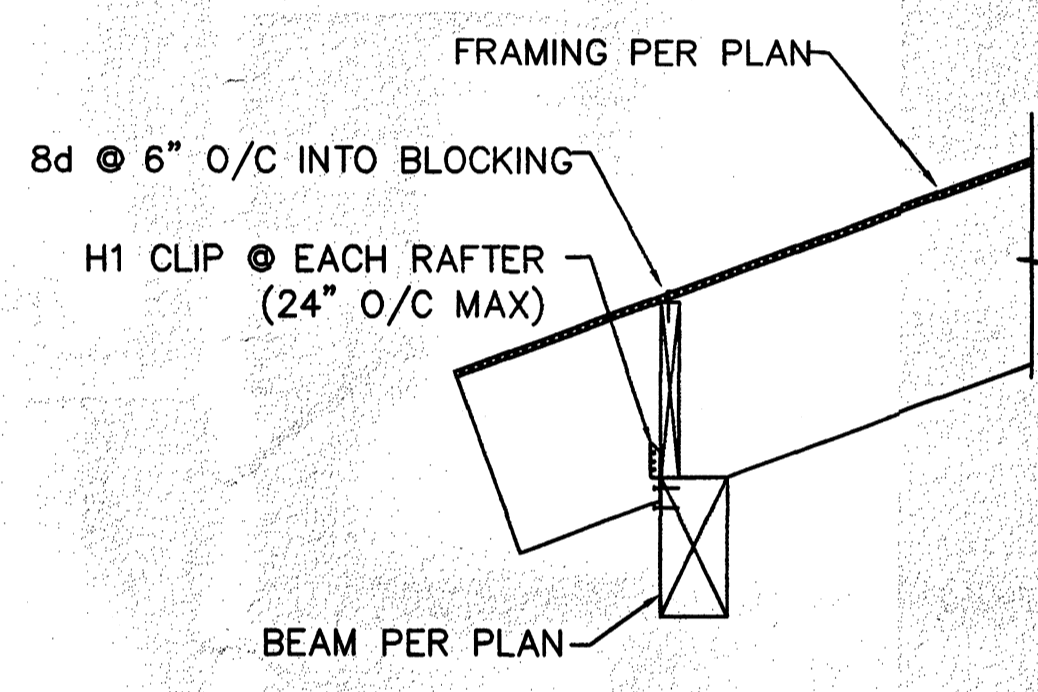


A JOIST PERPENDICULAR

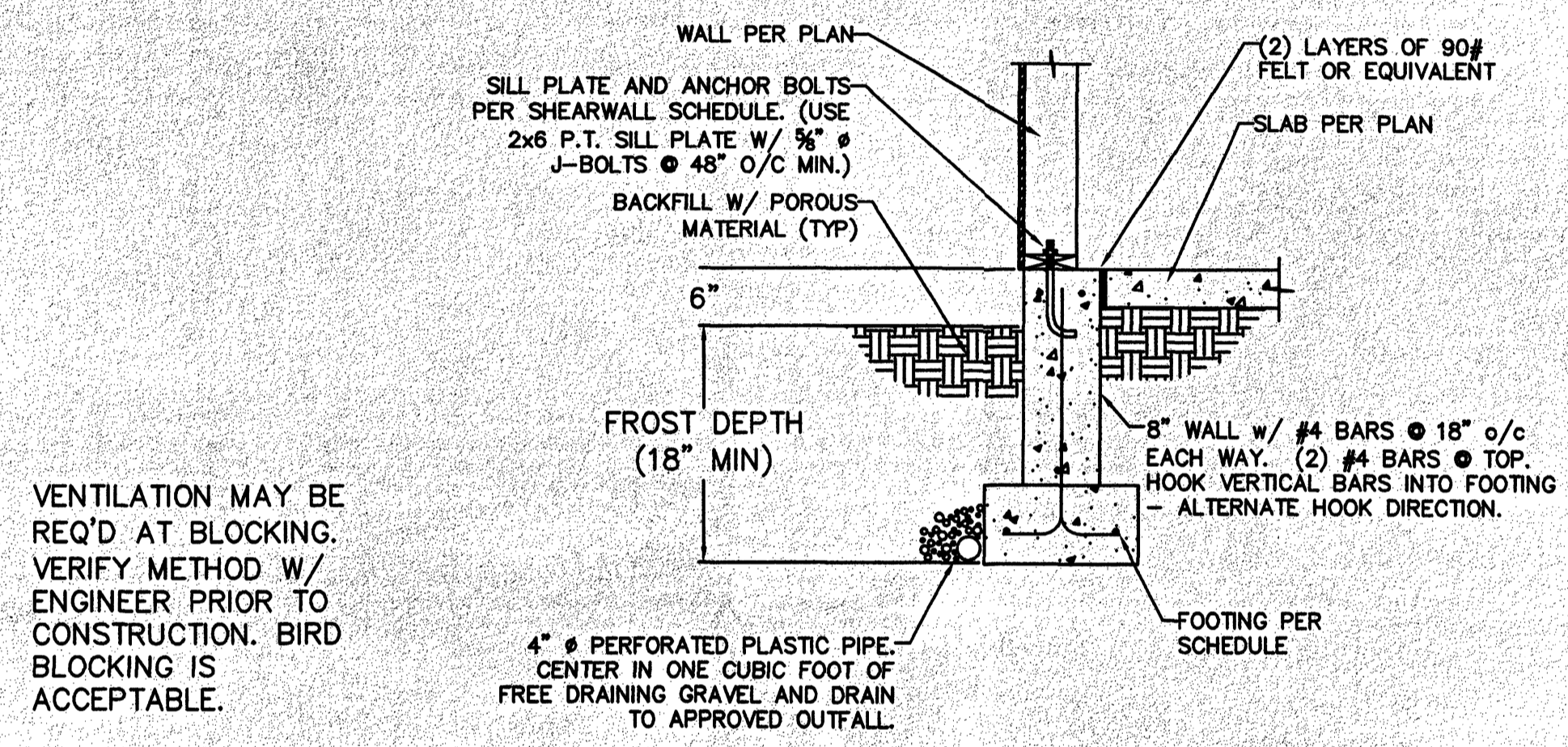


B JOIST PARALLEL

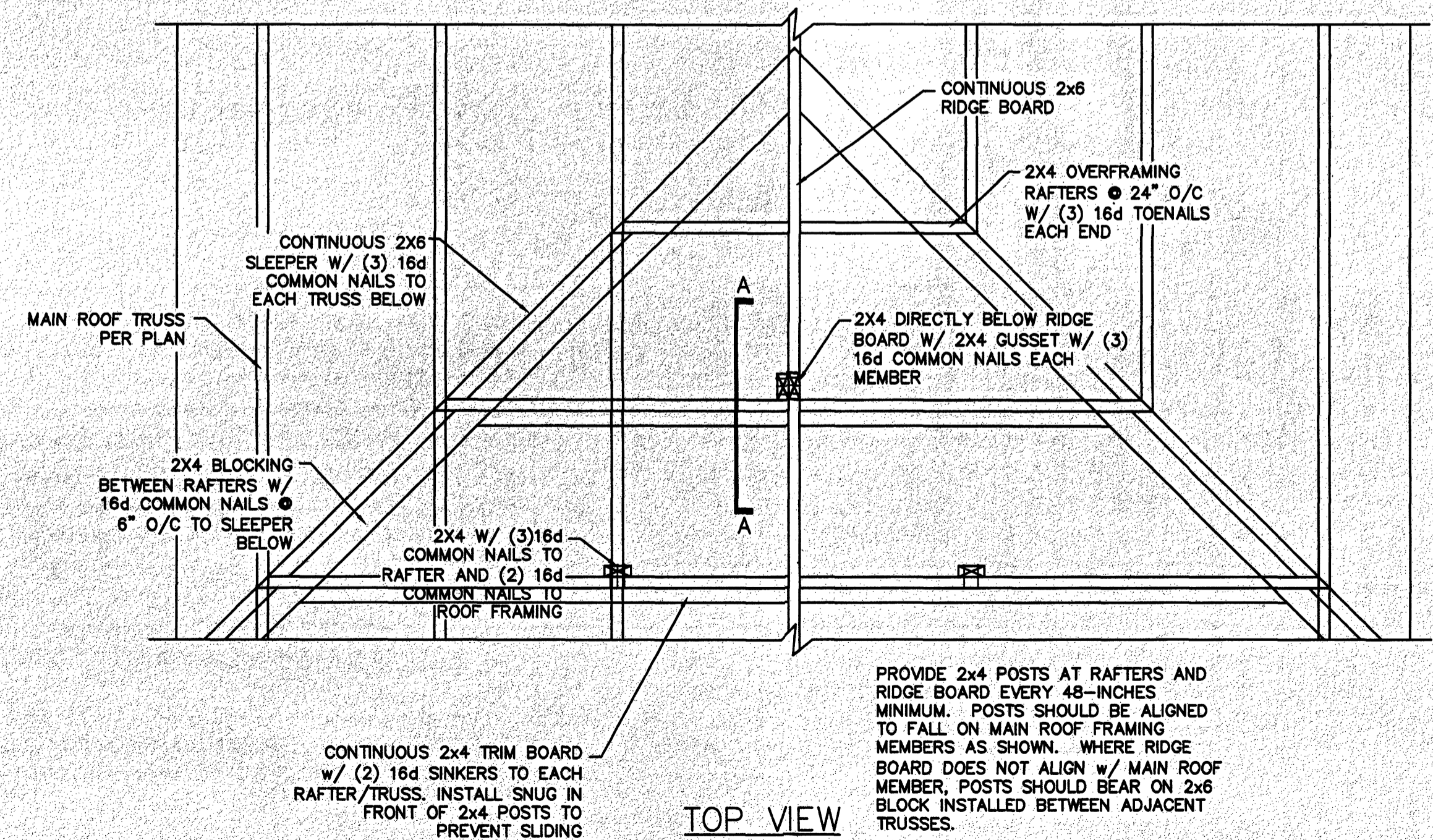
4 FLOOR JOIST/SHEARWALL CONNECTION



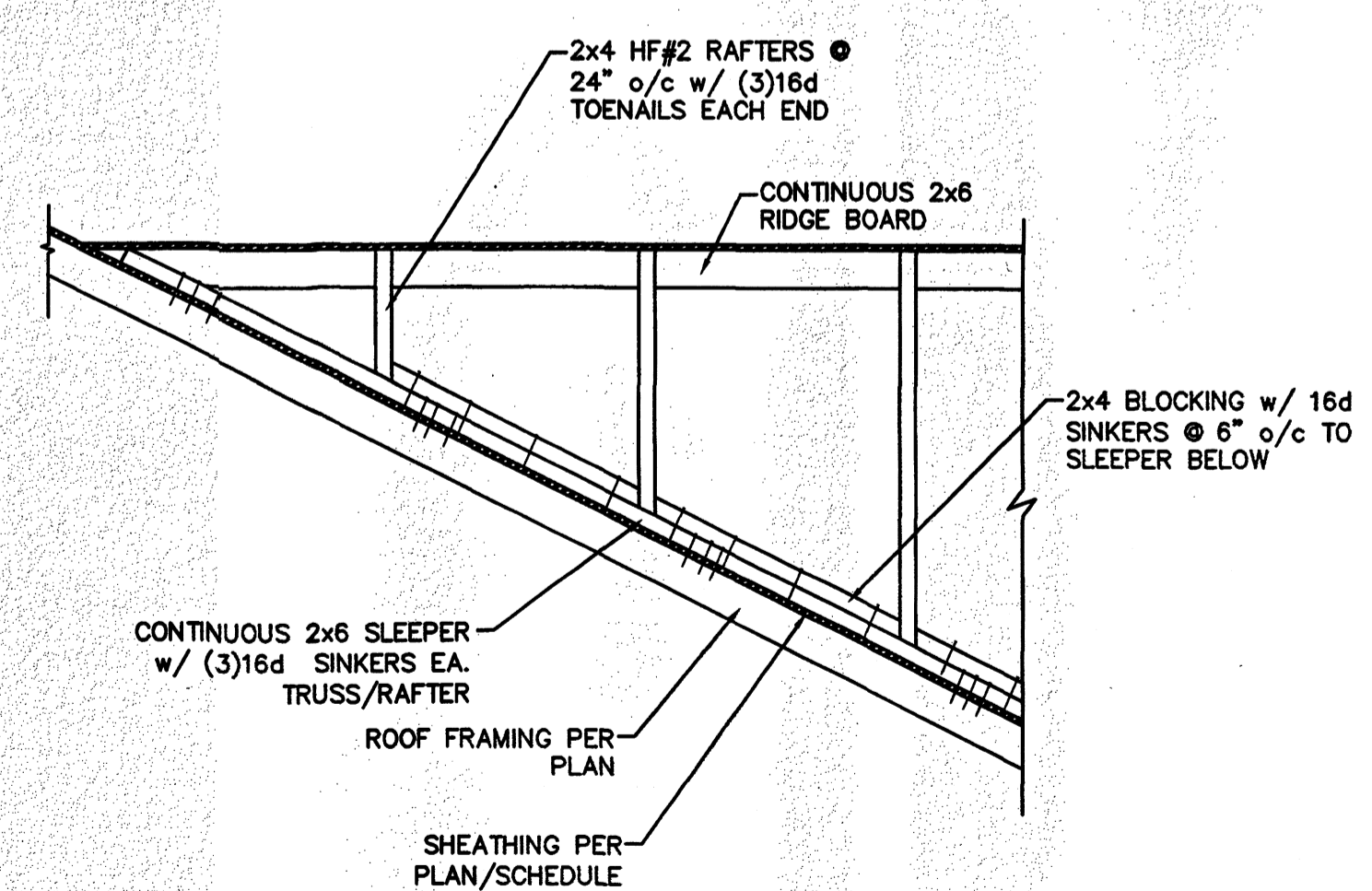
5 ROOF/BREAM CONN.



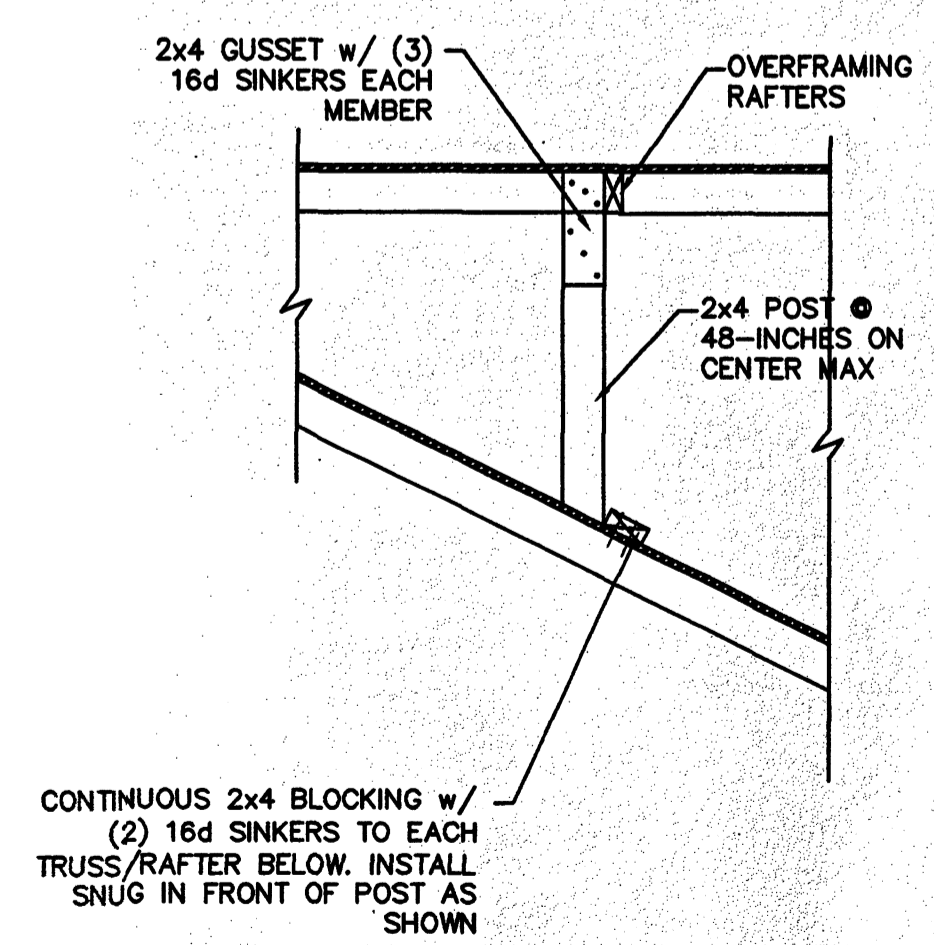
6 FNDN/SHEARWALL CONN  
SCALE: 3/4" = 1'-0"



7 TYPICAL ROOF OVERFRAMING DETAILS



SIDE VIEW



SECTION A-A

1608	16" x 8" CONCRETE FOOTING w/ (2) #4 BARS CONTINUOUS
2424	24" x 12" CONCRETE FOOTING w/ (3) #4 BARS CONTINUOUS
30	30" x 30" x 12" DEEP CONCRETE FOOTING w/ (2) #4 BARS EACH WAY
36	36" x 36" x 12" DEEP CONCRETE FOOTING w/ (3) #4 BARS EACH WAY
42	42" x 42" x 12" DEEP CONCRETE FOOTING w/ (4) #4 BARS EACH WAY
424212	42" x 42" x 12" DEEP CONCRETE FOOTING w/ (5) #4 BARS EACH WAY, TOP & BOT
48	48" x 48" x 12" DEEP CONCRETE FOOTING w/ (5) #4 BARS EACH WAY
484812	48" x 48" x 12" DEEP CONCRETE FOOTING w/ (6) #4 BARS EACH WAY, TOP & BOT

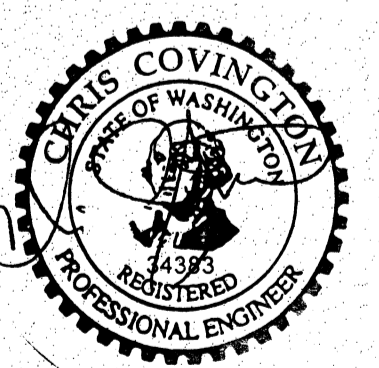
8 FOOTING SCHEDULE

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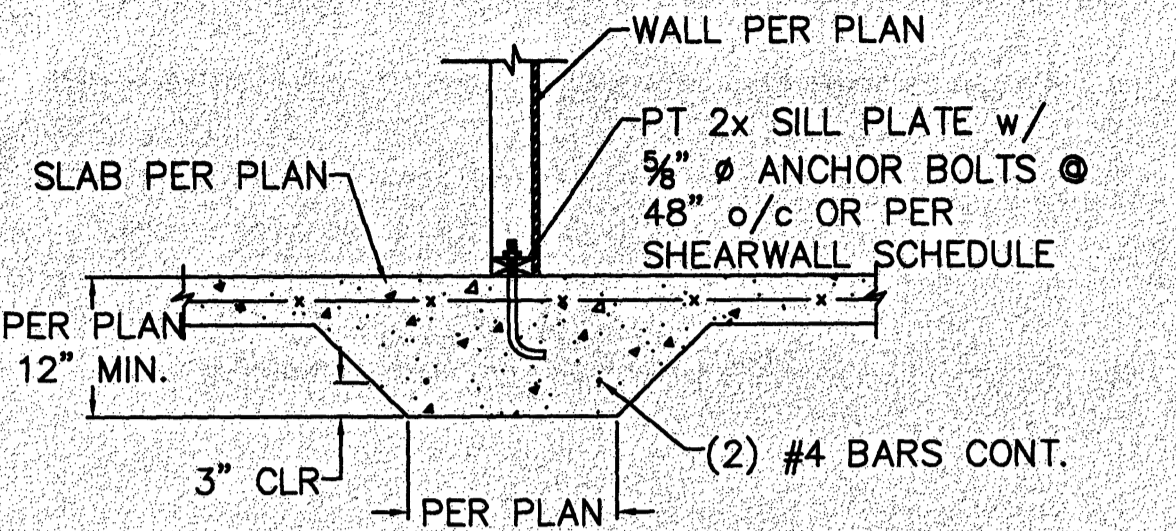
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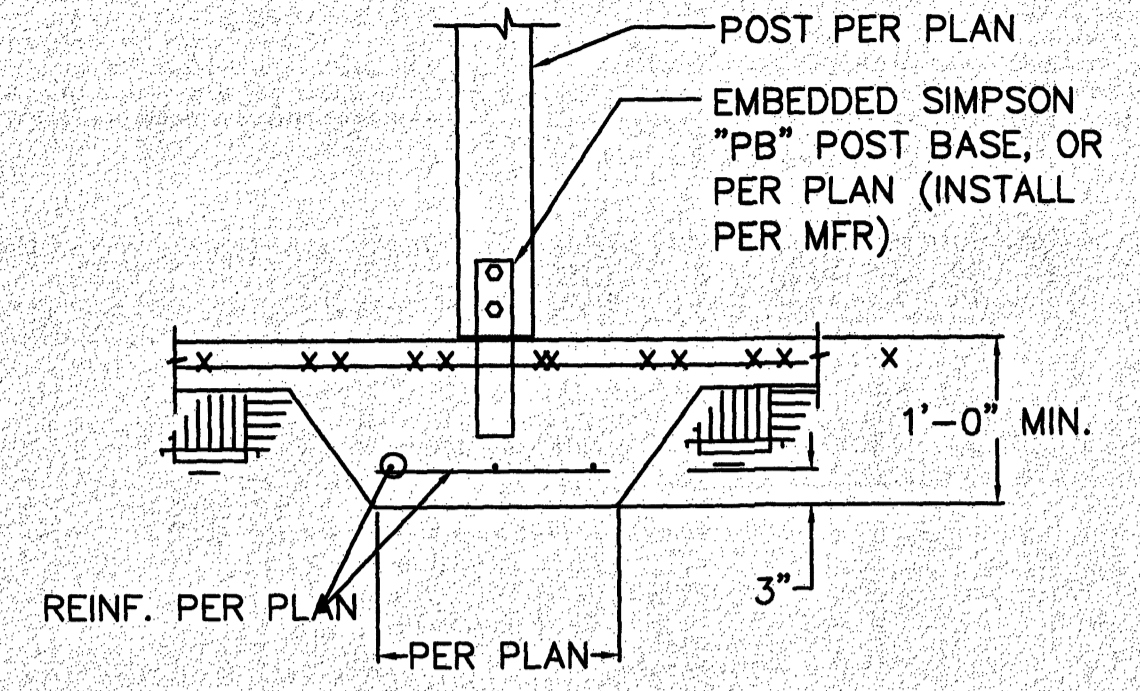
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DETAILS  
S-2.0



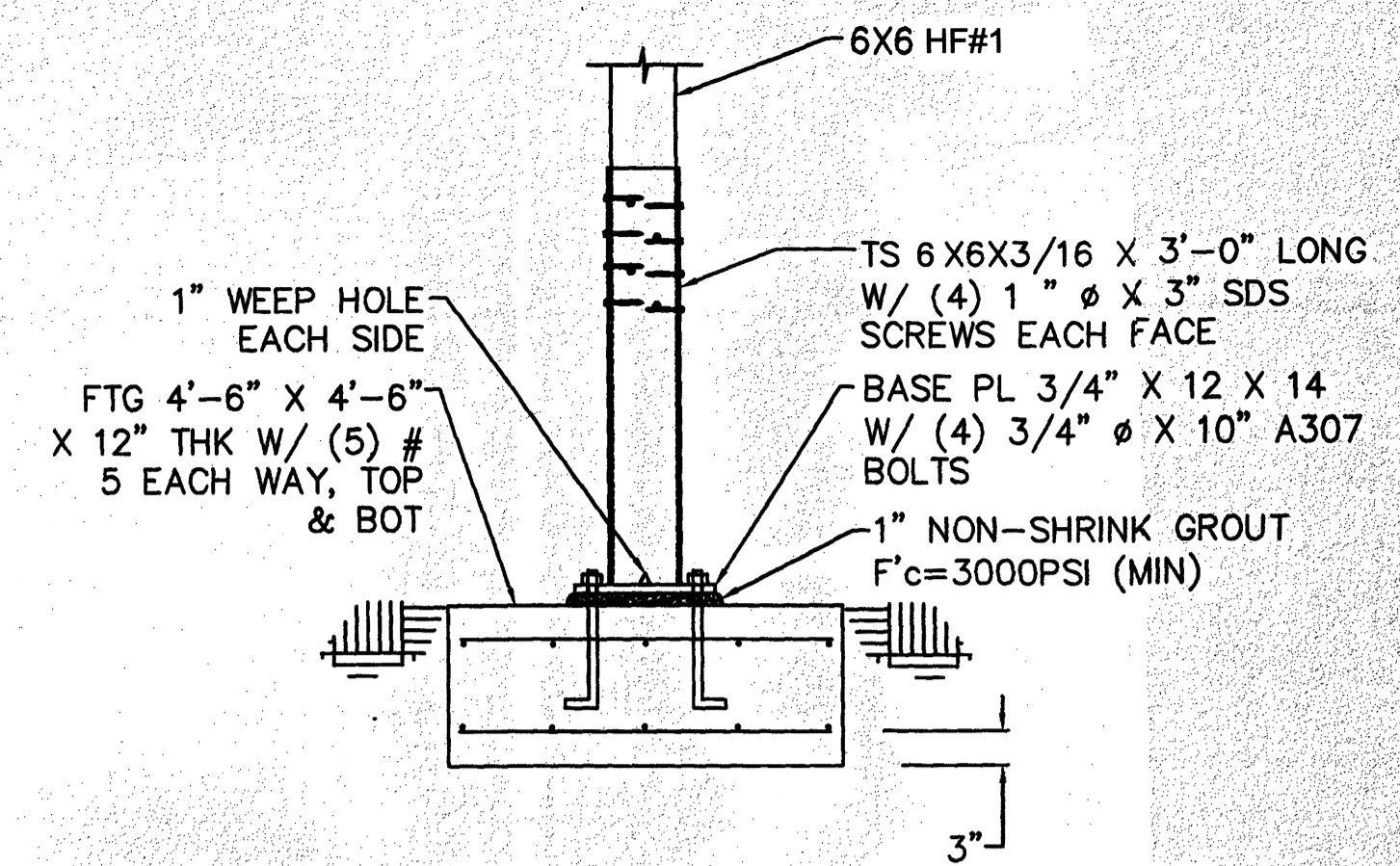
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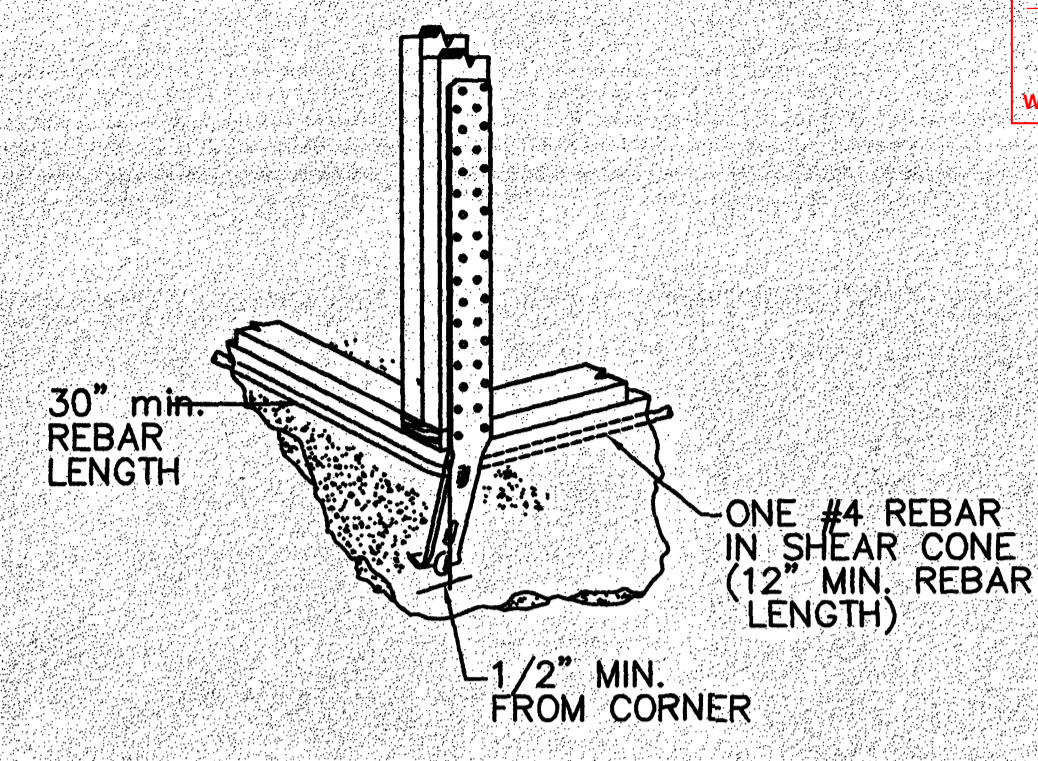
① BEARING WALL/THICKENED SLAB



② THICKENED SLAB/PAD FOOTING



③ ALTERNATE POST / MOMENT FOOTING CONN.



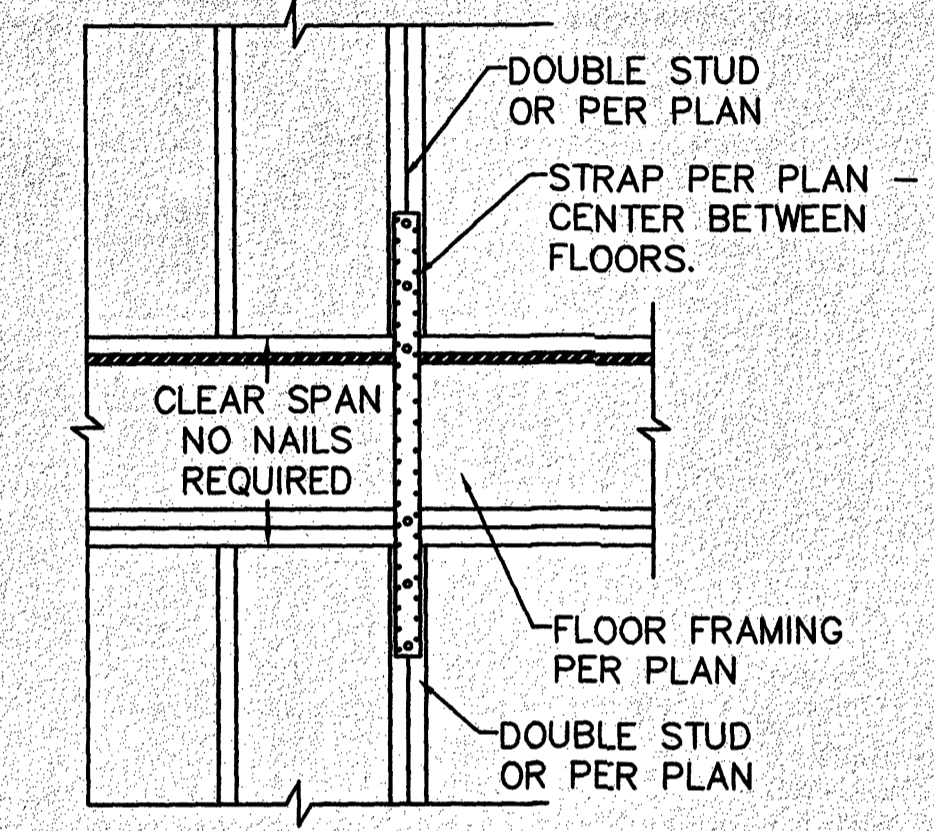
④ 'STD' INSTALLATION

HOLDOWN SCHEDULE						
*FOR HOLDOWNS INSTALLED IN NEW FOUNDATIONS						
MODEL	ANCHOR BOLT	THRU BOLTS OR NAILS/SCREWS	EMBEDMENT/STRAP LENGTH	MINIMUM EDGE DIST.	$l_e$	$d_e$
LSTHD8RJ	N/A	(24) 10d COMMON	8\"/>			

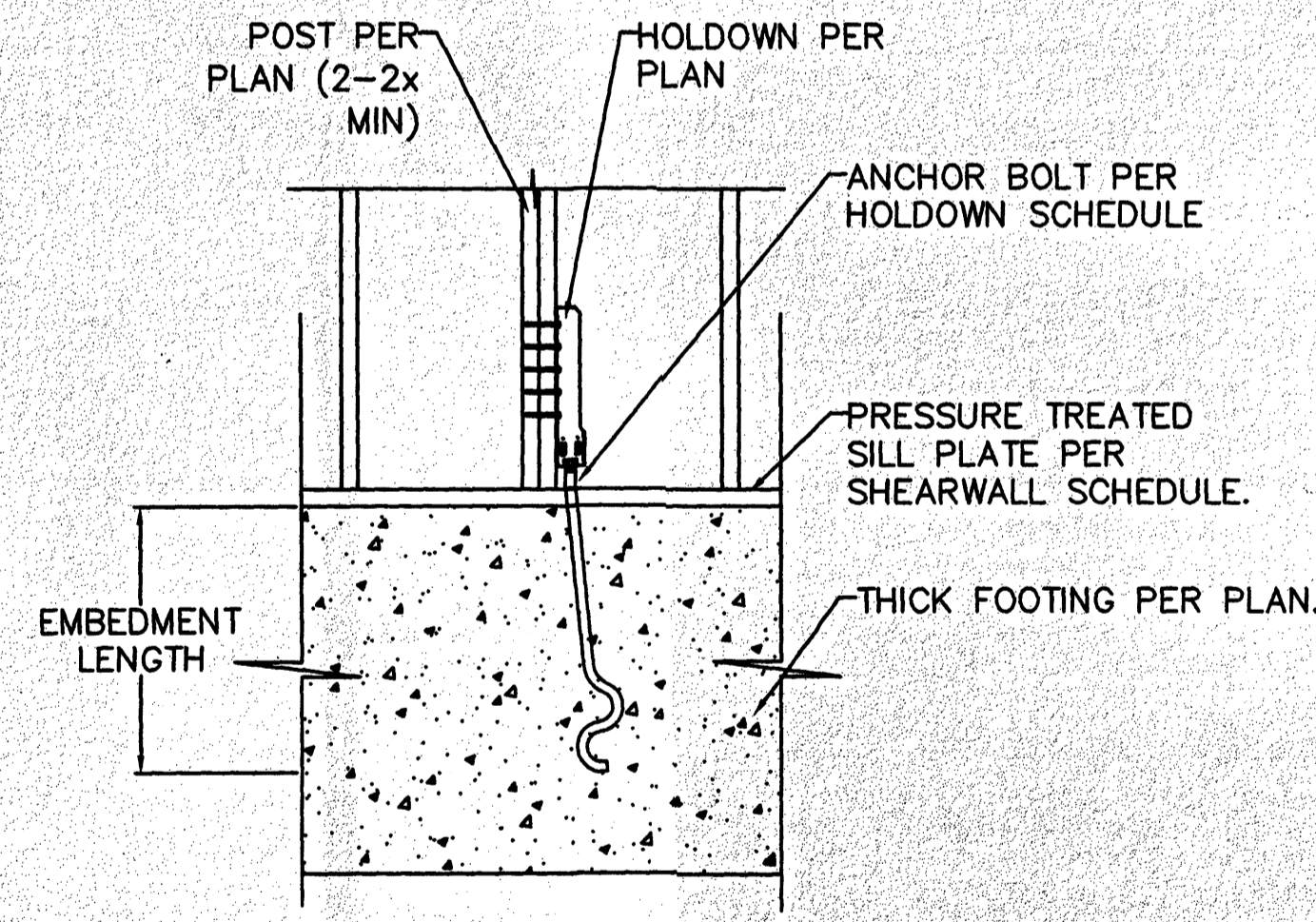
- HOLDOWN NOTES**
- ALL-THREAD BOLTS SHALL CONFORM TO ASTM A307.
  - MINIMUM CONCRETE COMPRESSIVE STRENGTH  $f_c = 2500$  PSI
  - ALL HOLDOWNS REQUIRE A (2) 2x POST UNLESS NOTED OTHERWISE. HDU11 AND HHDQ14 REQUIRE A 6x6 D F# 2 MINIMUM POST SIZE, U.N.O. WHERE HOLDOWNS ARE INSTALLED INTO THE WIDE FACE OF THE STUD, THE STUDS MUST BE STITCH NAILED TOGETHER W/ 16d SINKERS STAGGERED @ 4\"/>

SHEARWALL SCHEDULE (CDX)					
MARK	SHEATHING	EDGE NAILING	FIELD NAILING	SILL PLATE & CONN. @ FND	BOTTOM/TOP PLATE CONN.
△	3/8\"/>				

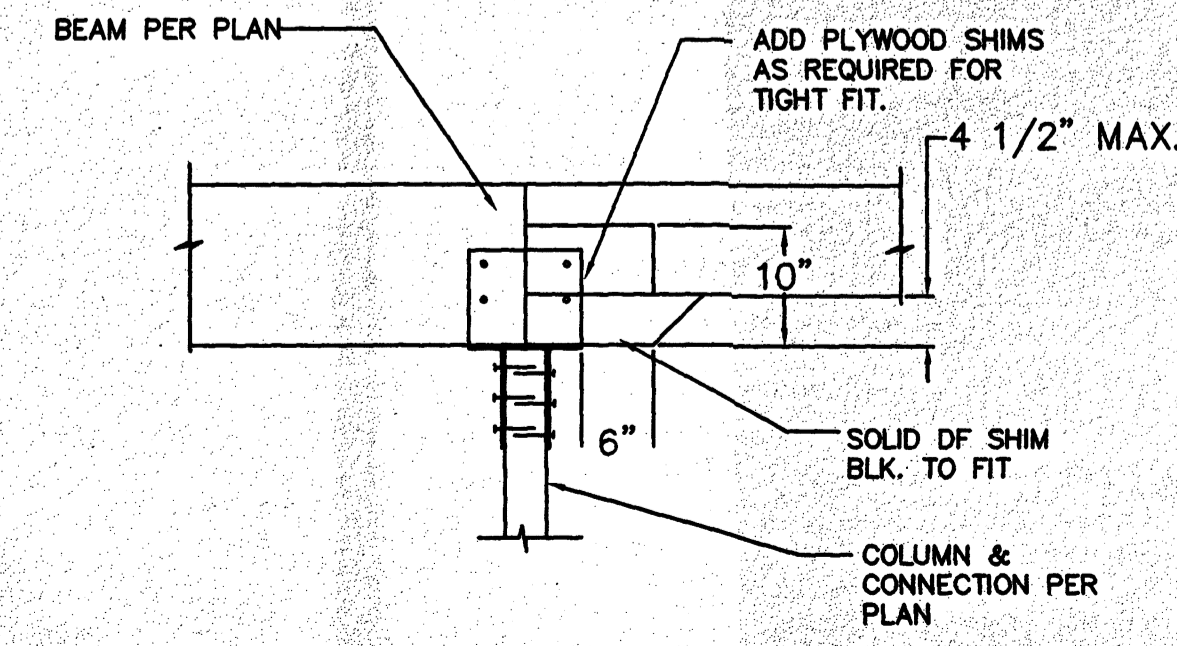
- SHEARWALL NOTES**
- ALL STUDS, BLOCKING, TOP AND BOTTOM PLATES SHALL BE HEM-FIR NO. 2 UNLESS NOTED OTHERWISE ON PLANS. ALL SHEATHING EDGES MUST BE BACKED WITH 2x OR WIDER FRAMING (SEE NOTE #3).
  - SHEATHING MAY BE INSTALLED EITHER HORIZONTALLY OR VERTICALLY. ALL SHEARWALL SHEATHING MUST EXTEND TO THE OUTSIDE EDGE OF ALL HOLDOWN POSTS AND CORNERS, AND TO THE INSIDE EDGE OF FRAMING AROUND OPENINGS.
  - WHERE SHEATHING NAILING IS SHEARWALL #3 AND GREATER, ALL FRAMING MEMBERS RECEIVING EDGE NAILING FROM ABUTTING PANELS SHALL NOT BE LESS THAN A SINGLE 3-INCH NOMINAL MEMBER. ADDITIONALLY, WHERE SHEARWALLS ARE SHEATHED ON BOTH FACES, ALL STUDS AND PLATES RECEIVING EDGE NAILING FROM BOTH FACES MUST BE A SINGLE 3-INCH NOMINAL MEMBER OR PANEL JOINTS MUST BE STAGGERED. (2)2x MAY BE SUBSTITUTED FOR A 3x MEMBER PROVIDED THE MEMBERS ARE STITCH NAILED TOGETHER w/ 10d COMMONS @ 6\"/>



⑤ FLOOR TO FLOOR STRAP



⑥ HOLDOWN DETAIL w/o RIMJOIST  
SCALE: 3/4\"/>

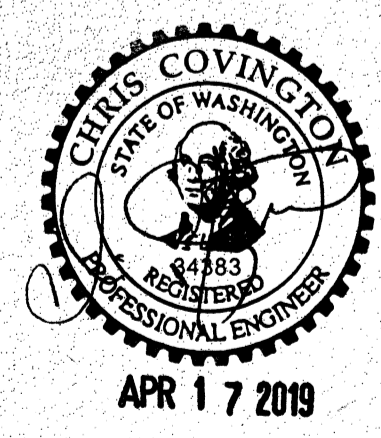


⑦ BEAM/POST CONNECTION  
TWO DIFFERENT SIZE BEAMS

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LAKE STEVENS, WA 98258



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Checked By: CHRIS  
Date: 03-18-18

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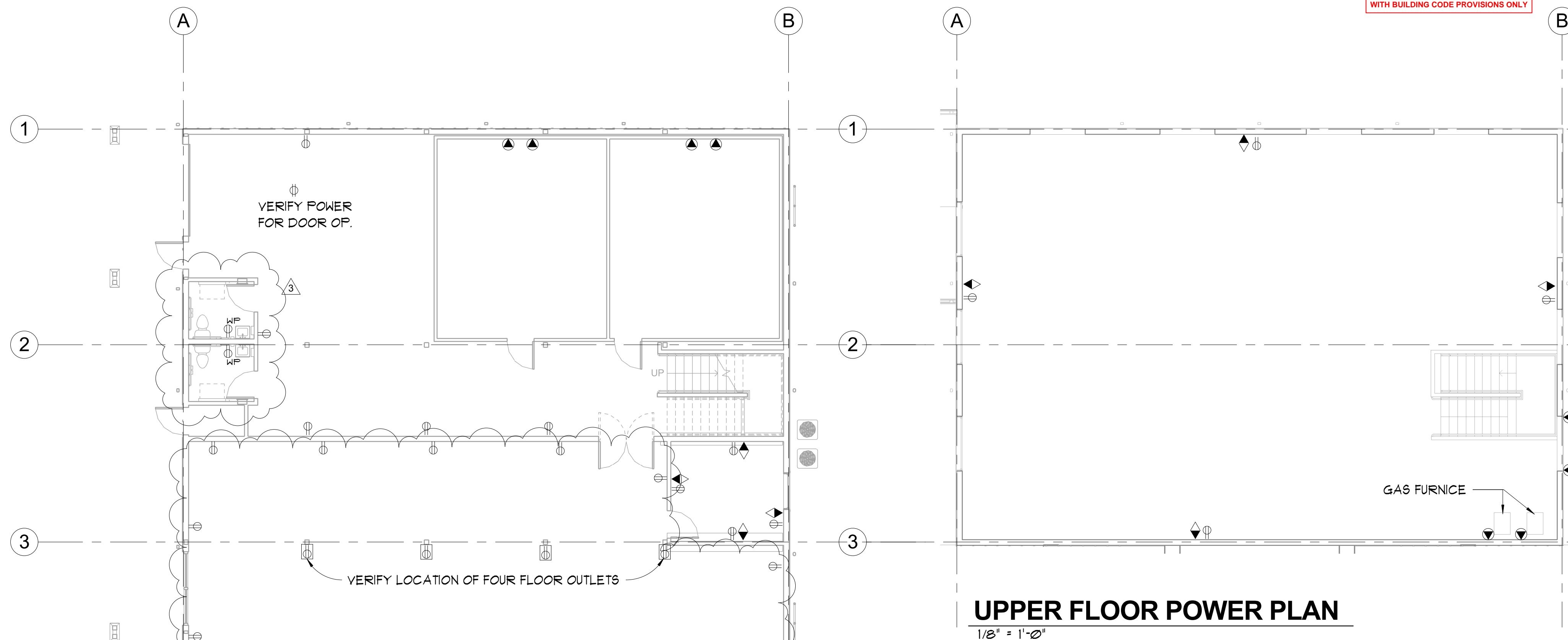
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DETAILS  
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3	KM
	08-04-20

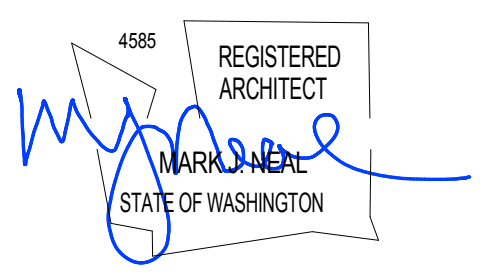


**UPPER FLOOR POWER PLAN**  
1/8" = 1'-0"



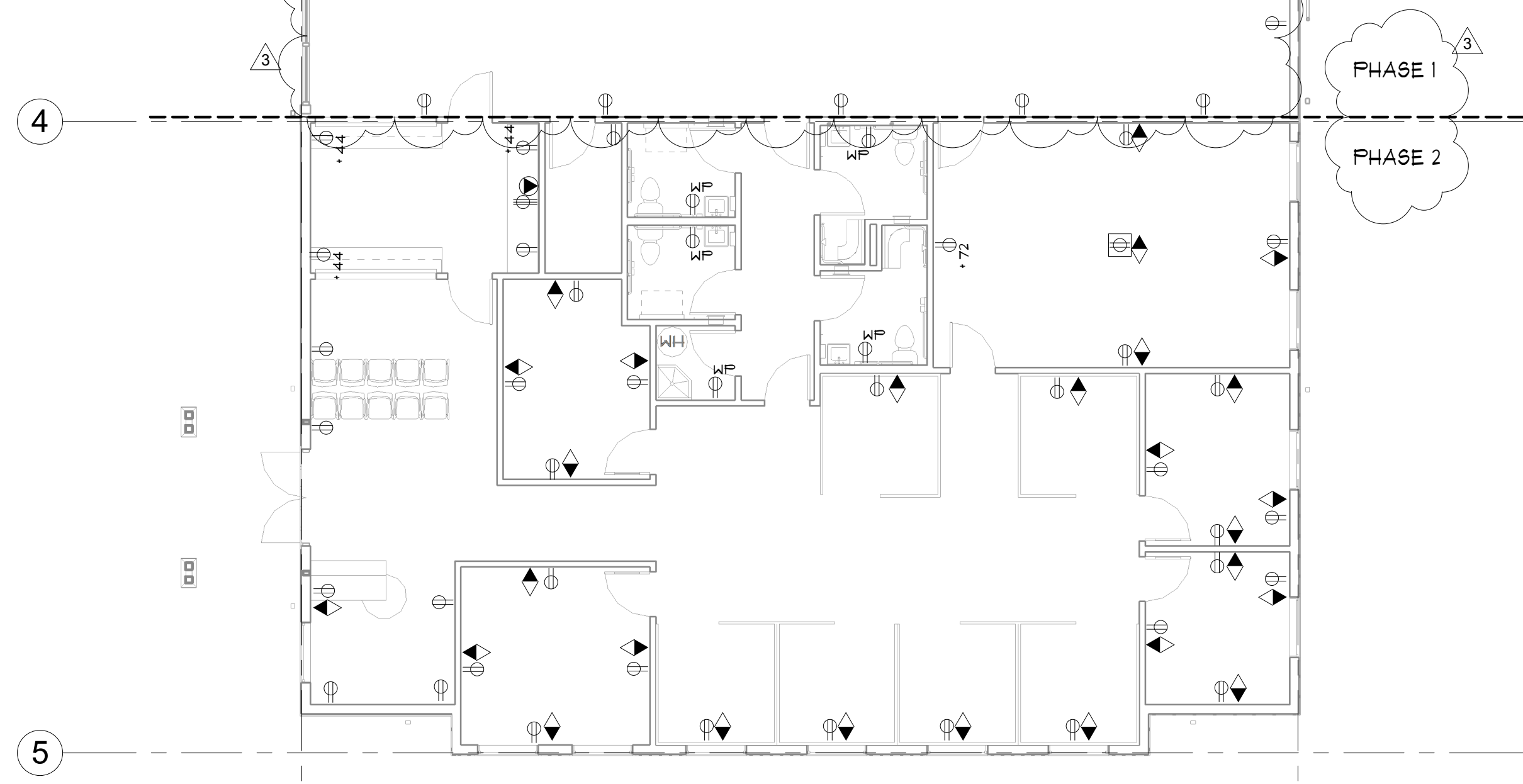
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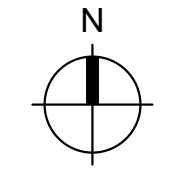


**ELECTRICAL LEGEND**

- SWITCH
- SWITCH - 3 WAY
- SWITCH - TIMER
- SWITCH - DIMMER
- THERMOSTAT
- RECEPTACLE - DUPLEX
- RECEPTACLE - DUPLEX GFI
- RECEPTACLE - DUPLEX WATER PROTECTED
- RECEPTACLE - DUPLEX GENERAL HOUSEKEEPING
- RECEPTACLE - CEILING MOUNTED
- RECEPTACLE - DOUBLE DUPLEX
- SINGLE 240V RECEPTACLE
- FLOOR MOUNTED RECEPTACLE
- RECESSED FLOOR BOX WITH COVER  
SEE KEYNOTE FOR MORE INFO
- JUNCTION BOX
- RECEPTACLE - SPECIAL PURPOSE  
SEE KEYNOTE FOR MORE INFO
- ELECTRICAL PANEL
- METER BASE
- TELEPHONE CONNECTION
- DATA CONNECTION  
NUMBER INDICATES TYPE, SEE NOTES
- DATA/TELEPHONE CONNECTION  
NUMBER INDICATES TYPE, SEE NOTES
- CAMERA CONNECTION
- ACCESS CONTROL  
SEE DOOR SCHEDULE FOR TYPE
- TELEVISION OUTLET
- PUSHBUTTON DEVICE



**MAIN FLOOR POWER/DATA PLAN**  
1/8" = 1'-0"



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FOOD BANK**  
8021 20TH ST SE, LAKE STEVENS, WA 98258

Date:	2019-04-17
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PHASE 2 WORK IS NOT APPROVED



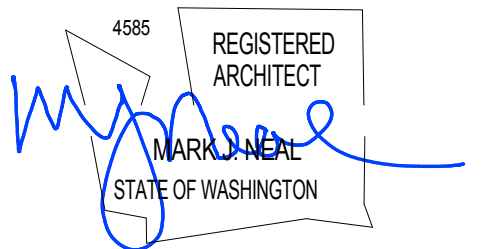
REVISIONS	BY
2	HE
3	KM

ALL EMERGENCY EGRESS AND EXIT LIGHTING IS SUBJECT TO FIELD INSPECTION APPROVAL BY BUILDING INSPECTOR AND FIRE MARSHAL



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**SECOND FLOOR LIGHTING PLAN**

1/8" = 1'-0"

**LIGHTING NOTES**

1. PROVIDE SWITCHING AS REQUIRED TO MEET ENERGY CODE DAYLIGHTING ZONES.
2. PROVIDE OCCUPANCY SENSOR SWITCHING WHERE REQUIRED BY ENERGY CODE.
3. PROVIDE EMERGENCY BATTERY BACKUP LIGHTING WHERE INDICATED ON FIXTURE SCHEDULE.



**MAIN FLOOR LIGHTING PLAN**

1/8" = 1'-0"



LIGHT FIXTURE SCHEDULE							
MARK	QUANT	TYPE	MANUFR	MODEL	REMARKS	WATTS	TOTAL WATTS
A	2	LED TROFFER	COLUMBIA LIGHTING	LCAT 14-40 G		32	1,088
B	2	LED WALL MOUNT	COLUMBIA LIGHTING	CWM2-40LW		21	126
C	60	LED SURFACE	COLUMBIA LIGHTING	LCAT 14-40 SM		32	2048
D	2	LED WALL MOUNT			EXTERIOR WALLMOUNT BATTERY BACKUP		
A	32	LED TROFFER	COLUMBIA LIGHTING	LCAT 14-40 G		32	1,088
B	6	LED WALL MOUNT	COLUMBIA LIGHTING	CWM2-40LW		21	126
C	4	LED SURFACE	COLUMBIA LIGHTING	LCAT 14-40 SM		32	2048
D	1	LED WALL MOUNT			EXTERIOR WALLMOUNT BATTERY BACKUP		

**LIGHTING PLAN LEGEND**

1/8" = 1'-0"

SYMBOL FIXTURE TYPE

- RECESSED
- SURFACE MOUNTED
- LINEAR PENDANT
- STRIP
- WALL MOUNTED
- SURFACE MOUNTED
- PENDANT
- RECESSED CAN

- INDICATES EMERGENCY LIGHTING W/BATTERY BACK UP
- INDICATES ARROW DIRECTION
- EXIT SIGN
- INDICATES WALL MOUNT

NEW BUILDING FOR:  
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